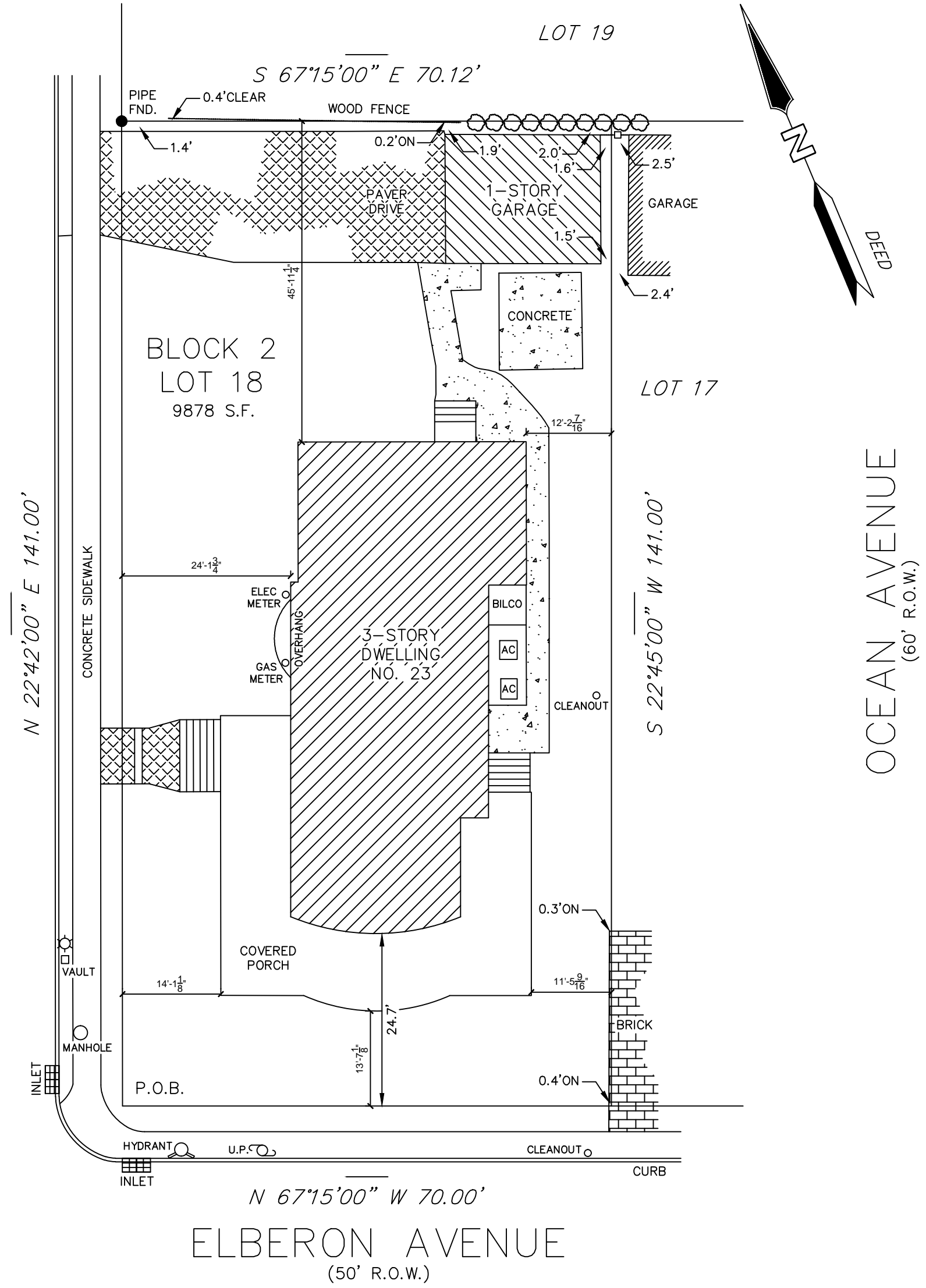


OCEAN AVENUE
(60' R.O.W.)

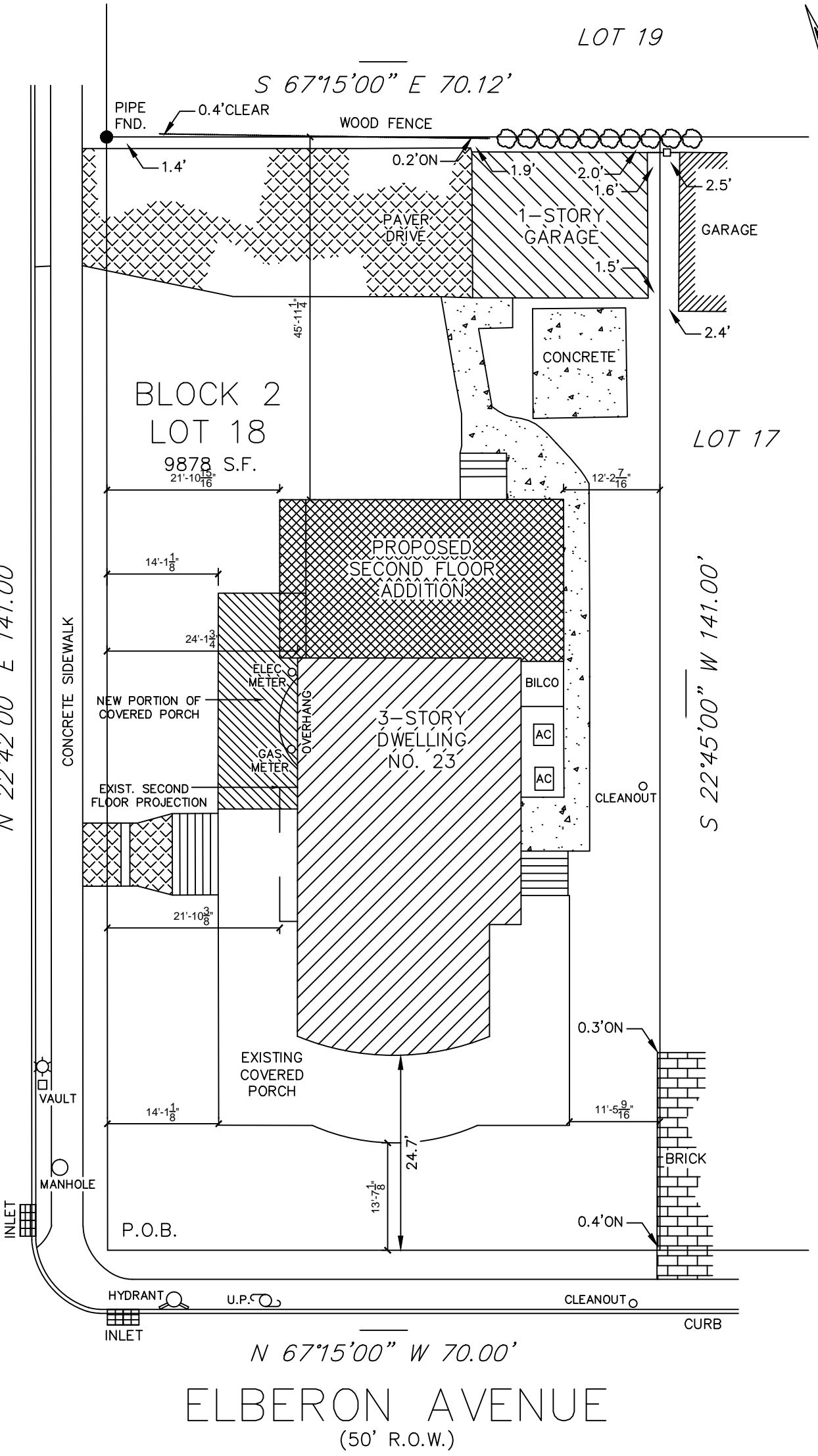


1 Existing Site Plan
SCALE: 1/16" = 1'-0"

SITE PLAN INFORMATION TAKEN FROM SURVEY BY CHARLES SURMONTE P.E., L.S. DATED 08-01-19
 NOTES:
 ALL DAMAGED CURBING & SIDEWALKS (AS DETERMINED BY THE LOCAL OFFICIALS) SHALL BE REPLACED PER ABOVE DETAILS. 2/17/2020
 ALL NEW CONCRETE WORK TO MEET BOROUGH STANDARDS
 NEW SIDEWALKS AND CONCRETE CURBING SHALL BE 4,000 PSI
 ROADWAY RECONSTRUCTION TO MEET BOROUGH APPROVAL

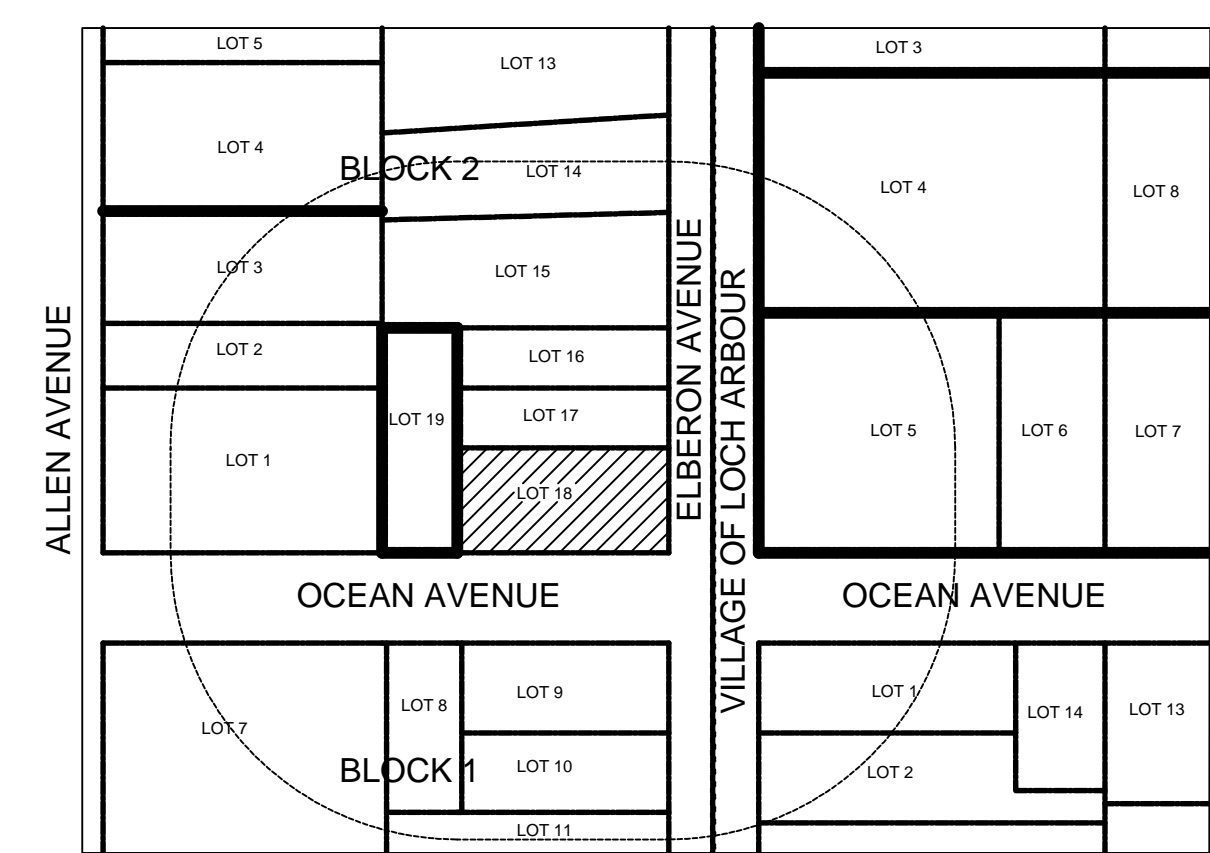


AERIAL PHOTO WITH-IN 200'
NOT TO SCALE
BLOCK 2 LOT 18

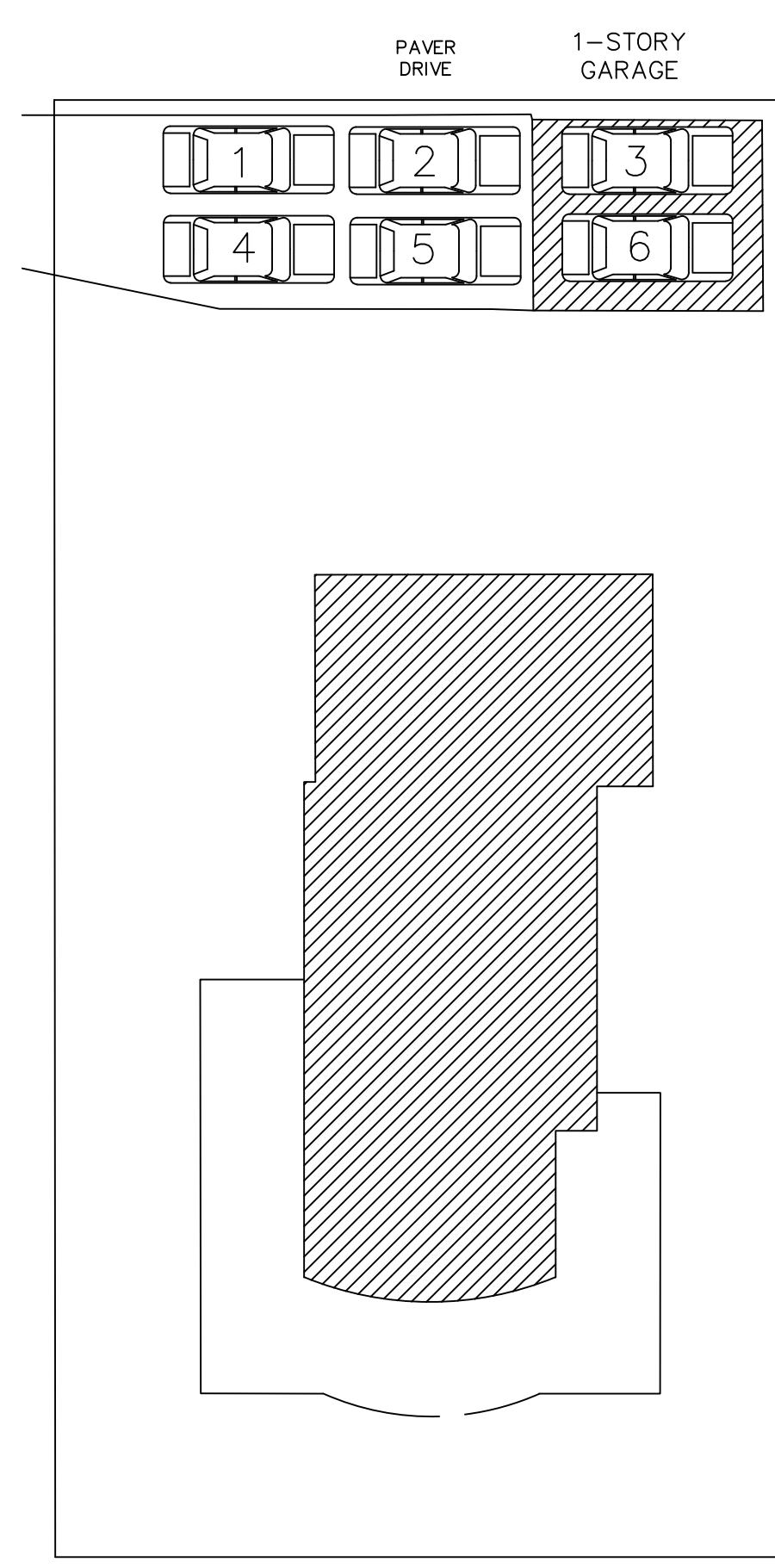


2 Proposed Site Plan
SCALE: 1/16" = 1'-0"

SITE PLAN INFORMATION TAKEN FROM SURVEY BY CHARLES SURMONTE P.E., L.S. DATED 08-01-19
 ORDINANCE 26-10 "NO BUILDING, CONSTRUCTION, RECONSTRUCTION, REMODELING OR REPAIRS SHALL BE MADE, UNDERTAKEN OR CONTINUED WITHIN THE LIMITS OF THE BOROUGH BETWEEN JUNE 30 & LABOR DAY & ON THE FOLLOWING HOLIDAYS: THANKSGIVING DAY & CHRISTMAS DAY. NO POWER TOOLS SUCH AS SANDERS, CHAIN SAWS, POWER SAWS, NAIL GUNS, ETC. SHALL BE ALLOWED DURING THIS MORATORIUM. 2/17/2020



PROPERTIES WITH-IN 200'
NOT TO SCALE
BLOCK 2 LOT 18



2 Parking Plan
SCALE: 1/16" = 1'-0"

ZONE REQUIREMENTS

ZONE: R-1

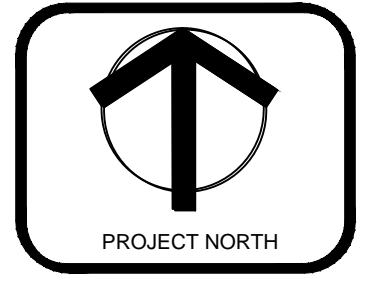
LOT SIZE	REQUIRED/ALLOWED	EXISTING /CONFORMING		PROPOSED /CONFORMING		NO CHANGE
		EXISTING NON-CONFORMING	CONFORMS	EXISTING NON-CONFORMING	CONFORMS	
100'W x 140'D 14,000. sq.ft.	70.00' W x 141.00' D 9,878. sq.ft.	EXISTING NON-CONFORMING	CONFORMS	EXISTING NON-CONFORMING	CONFORMS	NO CHANGE
FRONT YARD SETBACK	5' OR STREET AVERAGE	27.66'(TO DWELLING)(ELBERON AVE.) 22.25'(TO DWELLING)(OCEAN AVE.)	(STREET AVERAGE) CONFORMS (STREET AVERAGE) CONFORMS	27.66'(TO DWELLING)(ELBERON AVE.) 22.25'(TO DWELLING)(OCEAN AVE.)	(STREET AVERAGE) CONFORMS (STREET AVERAGE) CONFORMS	NO CHANGE
SIDE YARD SETBACK	5'	10.4' (EAST SIDE) 44.5' (NORTH SIDE)	CONFORMS CONFORMS	10.4' (EAST SIDE) 44.5' (NORTH SIDE)	CONFORMS CONFORMS	NO CHANGE
TOTAL SIDE YARD SETBACKS	10'	10.4'	EXISTING NON-CONFORMING	10.4'	EXISTING NON-CONFORMING	NO CHANGE
REAR YARD SETBACK (20% LOT DEPTH)	20% OF 70' = 14' (OCEAN AVE. FRONT) 20% OF 141' = 28.2' (ELBERON AVE. FRONT)	10.4'	NON-CONFORMING	10.4'	NON-CONFORMING	NO CHANGE
MIN. FIRST FLOOR AREA	1,100 sq.ft.	1,894 sq.ft.	CONFORMS	1,894 sq.ft.	CONFORMS	NO CHANGE
MIN. GROSS FLOOR AREA	2,200 sq.ft.	4,492 sq.ft.	CONFORMS	4,492 sq.ft.	CONFORMS	NO CHANGE
BUILDING HEIGHT	2 STORIES / 35'	2 1/2 STORIES / 45' +/-	EXISTING NON-CONFORMING	2 1/2 STORIES / 45' +/-	EXISTING NON-CONFORMING	NO CHANGE
BUILDING COVERAGE	20% 9,878 x 20% = 1,976	33.4% 3,299. sq.ft. (INCLUDES DWELL., OVERHANGS PORCH & STAIRS)	EXISTING NON-CONFORMING	34.6% 3,422. sq.ft. (INCLUDES DWELL., OVERHANGS PORCH & STAIRS)	37% 3,661. sq.ft. NON-CONFORMING	NO CHANGE
IMPERVIOUS COVERAGE	40% 9,878 x 40% = 3,951	52.3% 5,166. sq.ft. (INCLUDES DWELLING, PORCH, PATIO, DRIVEWAY, HVAC PAD & WALKWAY)	EXISTING NON-CONFORMING	55.9% w/ ALT. 5,289. sq.ft. (INCLUDES DWELLING, PORCH, PATIO, DRIVEWAY, HVAC PAD & WALKWAY)	EXISTING NON-CONFORMING	NO CHANGE

* (COVERED PORCH - PERMITTED TO BE 10' INTO FRONT YARD SETBACK)
 *(EXISTING, NON-CONFORMING, ELBERON AVE. SIDE)

INDEX:
A1.0 TITLE SHEET SITE DATA PROPOSED SITE PLAN
 A1.1 EXISTING & PROPOSED FIRST & SECOND FLOOR PLANS
 A1.2 EXISTING & PROPOSED ATTIC FLOOR PLANS
 A1.3 EXISTING & PROPOSED EAST & WEST ELEVATIONS
 A1.4 EXISTING & PROPOSED NORTH & SOUTH ELEVATIONS
 OH1.0 EXISTING & PROPOSED OVERHANG PLANS

NO.	DESCRIPTION	DATE	BY	CHECKED
1	EXISTING & PROPOSED FIRST & SECOND FLOOR PLANS	02/17/2020	MR. MICHAEL FALLAS	MR. MICHAEL FALLAS
2	EXISTING & PROPOSED ATTIC FLOOR PLANS	02/17/2020	MR. MICHAEL FALLAS	MR. MICHAEL FALLAS
3	EXISTING & PROPOSED EAST & WEST ELEVATIONS	02/17/2020	MR. MICHAEL FALLAS	MR. MICHAEL FALLAS
4	EXISTING & PROPOSED NORTH & SOUTH ELEVATIONS	02/17/2020	MR. MICHAEL FALLAS	MR. MICHAEL FALLAS
5	EXISTING & PROPOSED OVERHANG PLANS	02/17/2020	MR. MICHAEL FALLAS	MR. MICHAEL FALLAS

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ADDITION & ALTERATION TO EXISTING RESIDENCE
MR. & MRS. MICHAEL FALLAS
 OCEAN AVENUE
 ALLENHURST, NJ
 SITE PLAN

REVISION ISSUE
 2/17/2020

DATE: 10/8/2019
 SCALE: AS NOTED
 PROJ. NO.: 2019.15
 SHEET

A1.0