

THE BELDEN ESTATE

45 NORWOOD AVE
ALLENHURST, NJ 07711



CIRCA 1901

LIST OF DRAWINGS

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A-102	Second Floor Plan	X	X
A-103	Attic Floor Plan	X	X
A-104	Roof Plan	X	X
A-201	Street Views	X	X
A-202	Exterior Elevation - East Facade	X	X
A-203	Exterior Elevation - South Facade	X	X
A-204	Exterior Elevation - West Facade	X	X
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FEBRUARY 7, 2020 ISSUED FOR FILING
 JUNE 16, 2020 ISSUED FOR FILING

D'AQUINO **MONACO** INC.

9 WEST 19TH STREET, 9TH FLOOR NEW YORK, NEW YORK 10003 T 212 929 9787

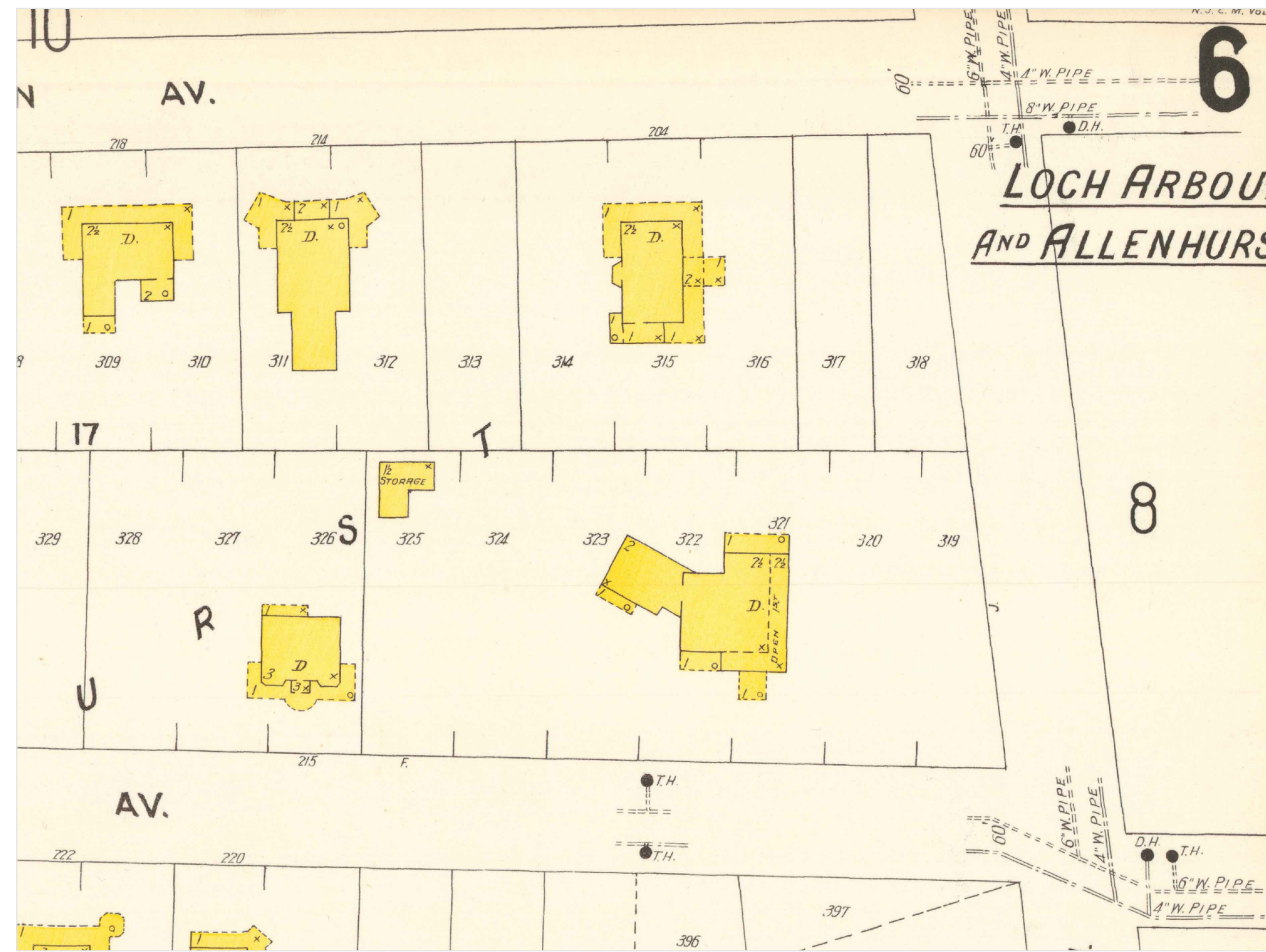
MONACO ARCHITECT, P.C.

9 WEST 19TH STREET, 9TH FLOOR NEW YORK, NEW YORK 10003 T 212 929 9787

SURVEYOR

NELSON ENGINEERING ASSOCIATES, INC.

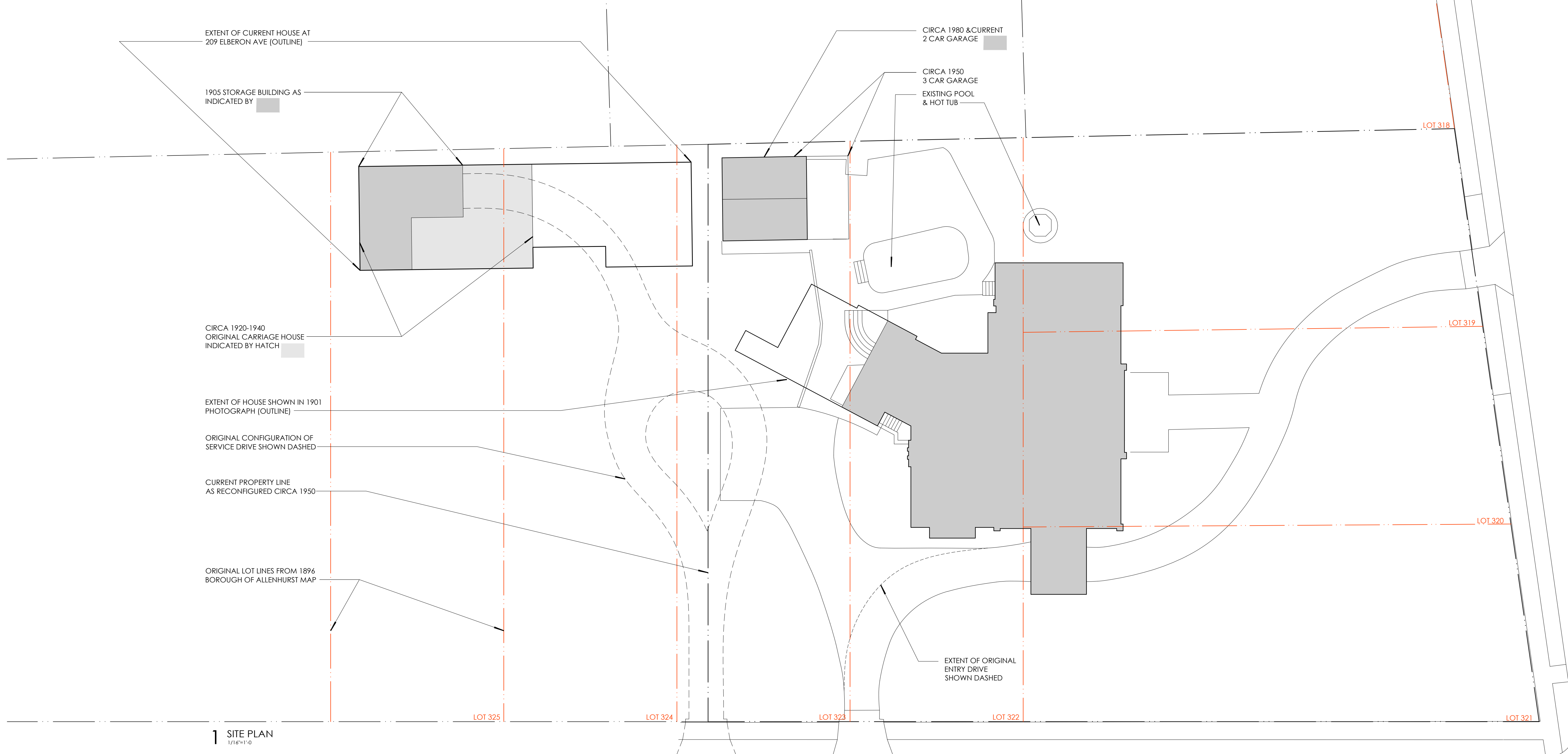
1750 BLOOMSBURY AVENUE, OCEAN, NEW JERSEY 00712 T 732 918 2180



3 1905 SANBORN
 BY 1905 PROPERTY WAS SOLD BY JAMES J BELDEN TO S.Q. MINGLE
 1910 PROPERTY WAS PURCHASED BY FREDERICK EATON



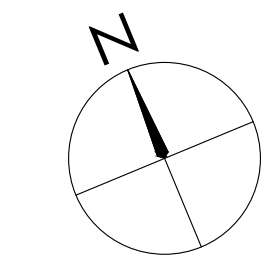
2 1896 LOT MAP
 HIGHLIGHTED AREA OF ORIGINAL BELDEN ESTATE
 RED OUTLINE EVENTUAL ESTATE OF EATON ESTATE
 EXTENT OF CURRENT PROPERTY



1 SITE PLAN
 1/16"=1'-0"

212 929 9787 DAQUINOMONACO.COM D'ARQUINO MONACO INC. 9 EAST 19TH STREET 9TH FLOOR NEW YORK, NEW YORK 10003 212 929 9787 DAQUINOMONACO.COM D'ARQUINO MONACO INC. 9 EAST 19TH STREET 9TH FLOOR NEW YORK, NEW YORK 10003

Date	Description
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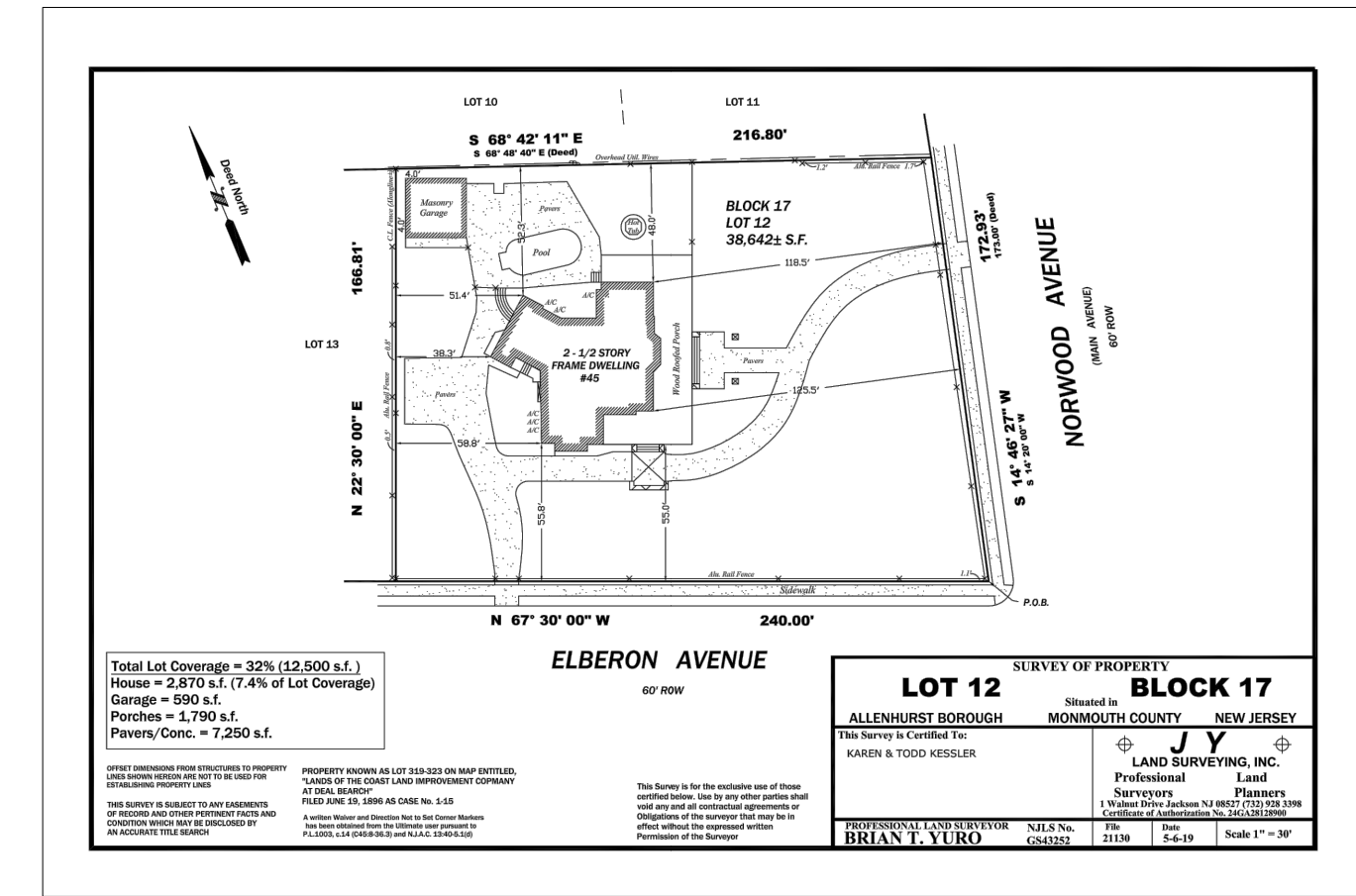


Project Architect
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Project
THE BELDEN ESTATE
 45 NORWOOD AVE
 ALLENHURST, NJ

Drawing | **HISTORIC SITE PLAN**

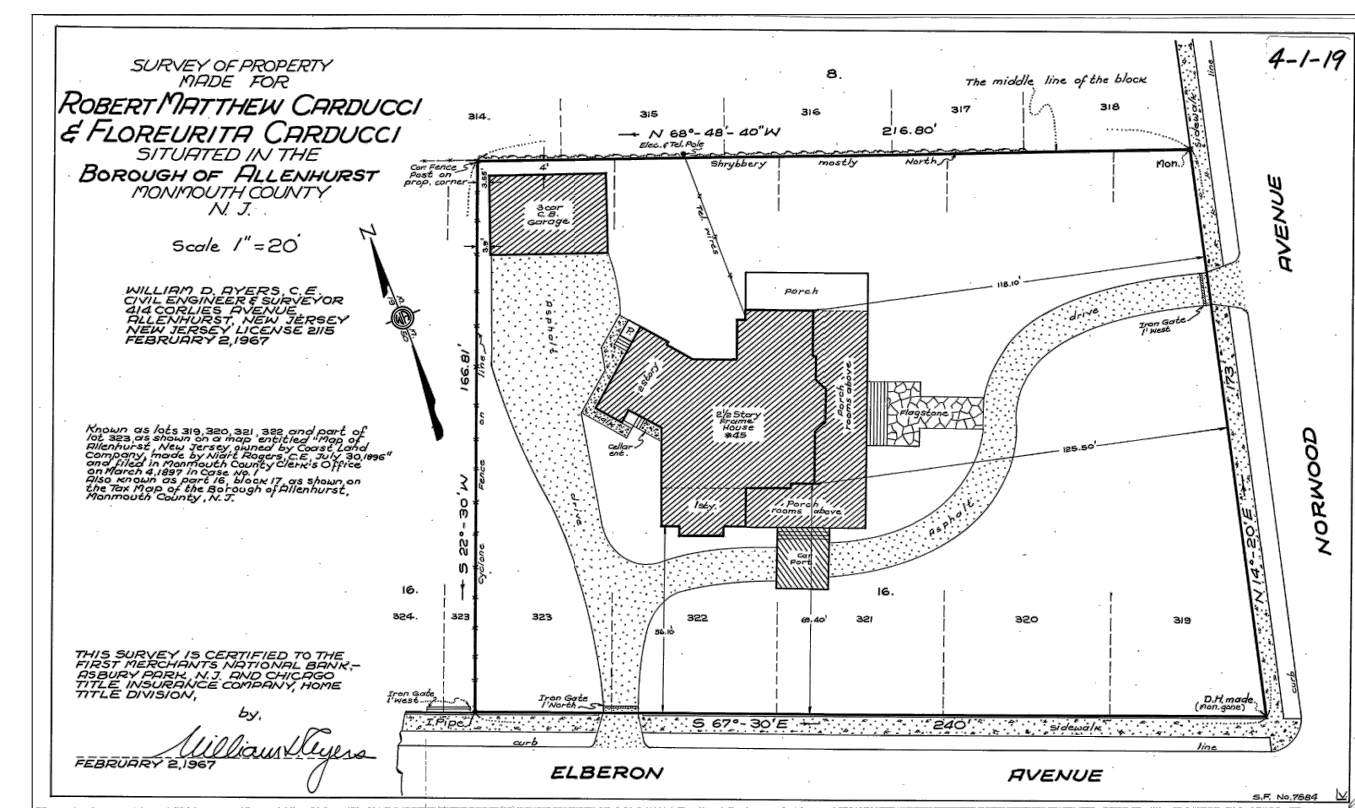
Date | FEBRUARY 7, 2020
 Scale | AS NOTED
 Drawing # | **A 001**



7 1980 SURVEY

PROPERTY MODIFIED TO ACCOMMODATE POOL & HOT TUB. GARAGE REDUCED TO 2 CAR.

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6 1967 SURVEY

CONFIRMS 1950S ADDITION & 3 CAR GARAGE



5 1963 AERIAL PHOTO

NO CHANGE TO BUILDING SINCE 1953



4 1953 AERIAL PHOTO
1947 PROPERTY SOLD AT AUCTION

LOT RESIZED TO CURRENT CONFIGURATION - 3 CAR GARAGE ADDED TO NORTH WEST CORNER. SMALL EXTENSION EVIDENT ON WEST SIDE.
HOUSE ADDED TO NEIGHBORING PROPERTY AT 55 NORWOOD



3 1940 AERIAL PHOTO

DEVELOPMENT OF LANDSCAPING ON LOTS 316, 317 & 318



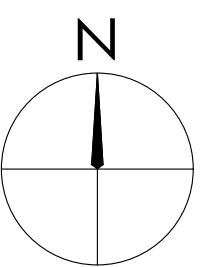
2 1933 AERIAL PHOTO

EATON ESTATE SIZE EXPANDED TO INCORPORATE LOTS 316, 317 & 318



1 1920 AERIAL PHOTO

PROPERTY CONFIGURATION SIMILAR TO THE PHOTOGRAPHS FROM C. 1901-1905
PROPERTY OWNED BY FREDERICK EATON SINCE 1910
ESTATE NAMED "MAIBENFRITZ"



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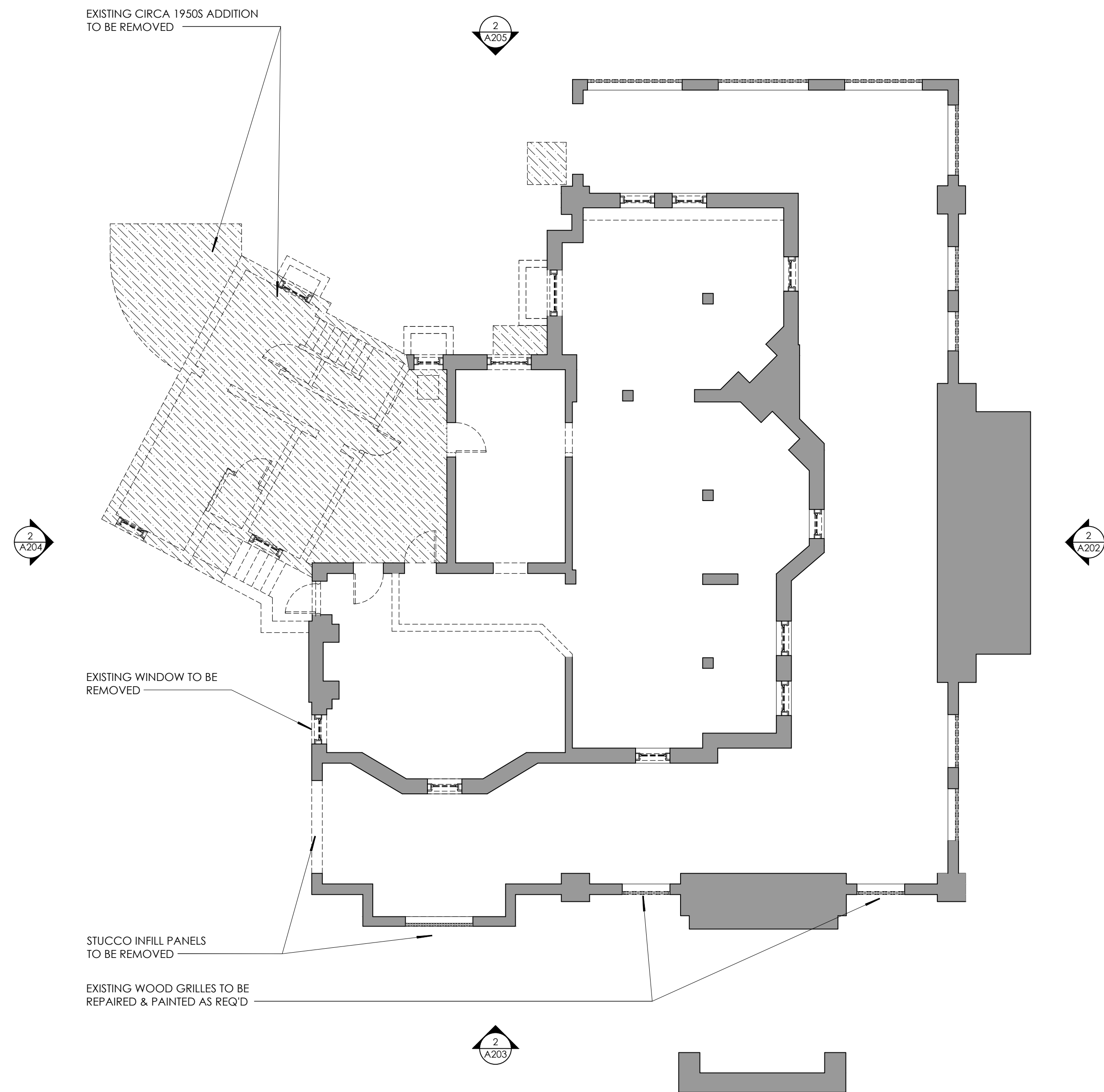
Project **THE BELDEN ESTATE**
45 NORWOOD AVE
ALLENHURST, NJ

Drawing **SITE HISTORY**

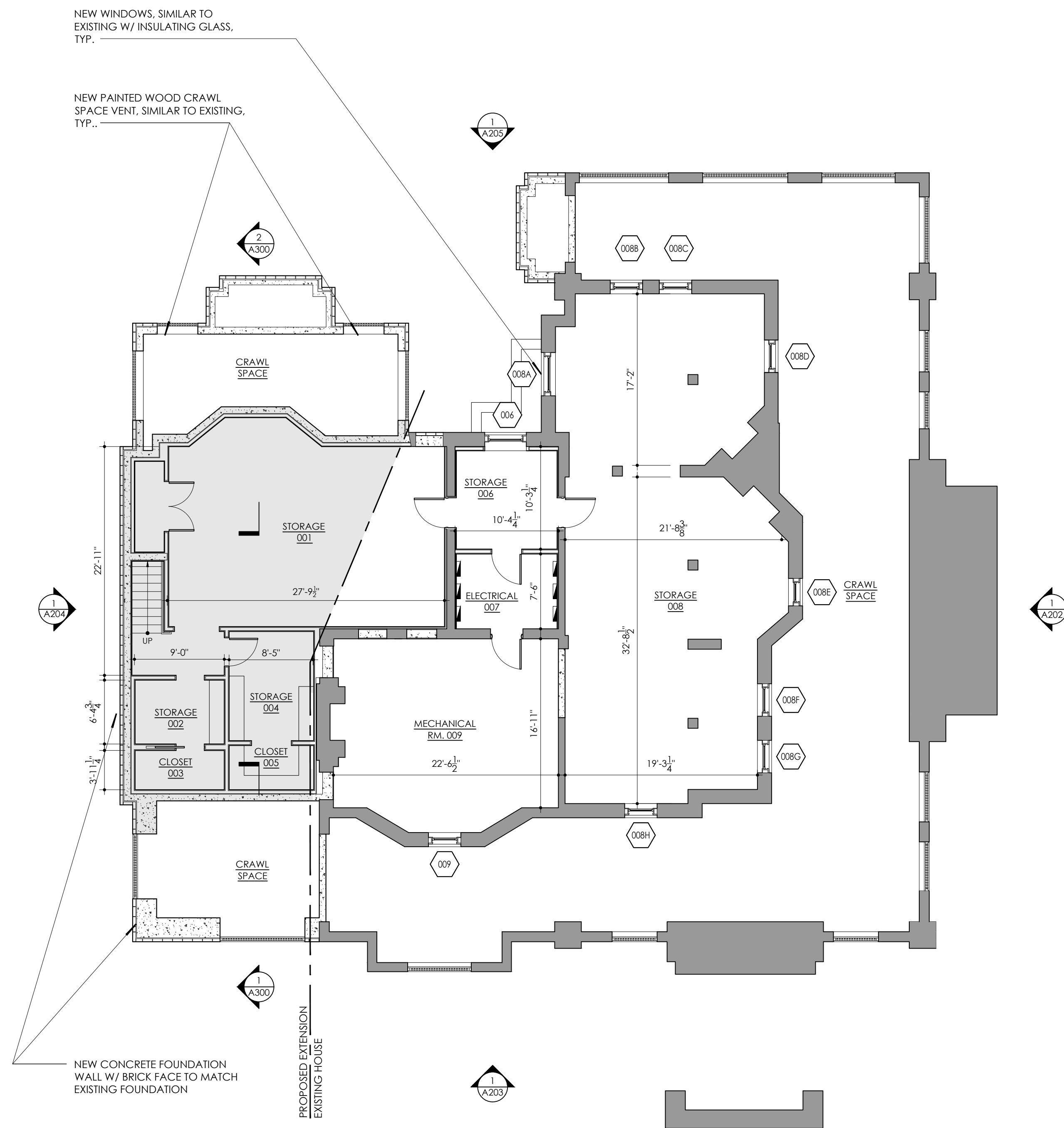
Date FEBRUARY 7, 2020

Scale NTS

Drawing # | A 002



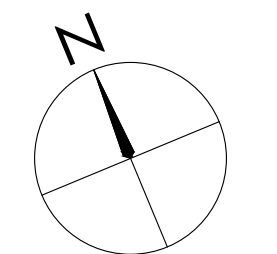
2 EXISTING CELLAR PLAN



1 PROPOSED CELLAR PLAN

LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW FOUNDATION WALL W/ BRICK FACE
	(1) LAYER 5/8" GYP. BOARD APPLIED TO EACH SIDE OF 3-1/2" WOOD STUDS WITH SOUND BATT INSULATION
	AREA OF NEW EXTENSION



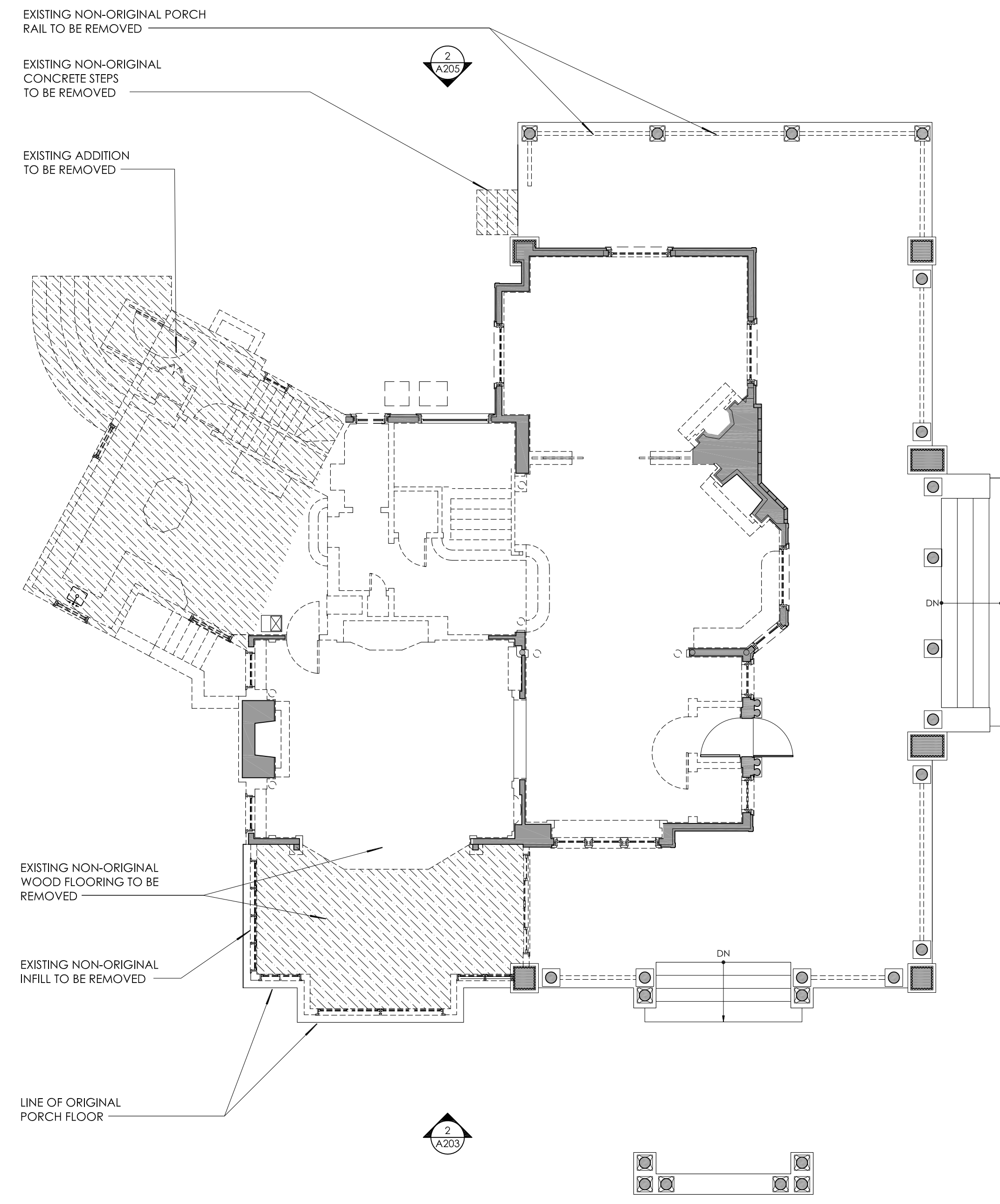
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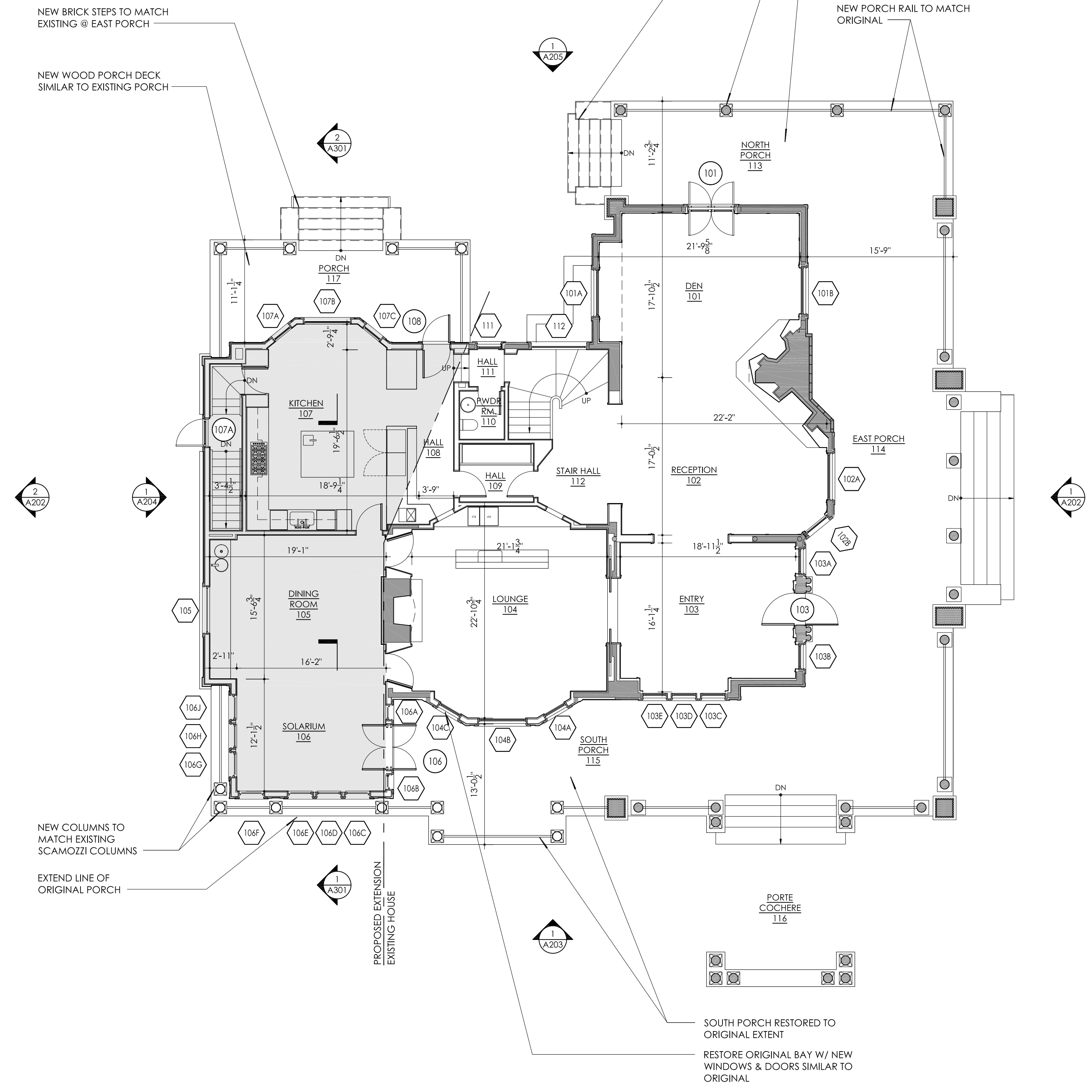
Drawing **CELLAR PLAN**

Date | FEBRUARY 7, 2020
 Scale | 1/8" = 1'-0" Drawing # | **A 100**

212.929.9787 DAQUINOMONACO.COM
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2 EXISTING FIRST FLOOR

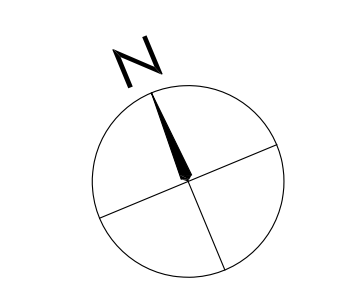


1 PROPOSED FIRST FLOOR

06.16.2020 ISSUED FOR PLING
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Date Description

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW FOUNDATION WALL W/ BRICK FACE
- (1) LAYER 1/2" GYP. BOARD APPLIED TO EACH SIDE OF 3-1/2" WOOD STUDS WITH SOUND BATT INSULATION
- AREA OF NEW EXTENSION



Project Architect
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Project | **THE BELDEN ESTATE**
45 NORWOOD AVE
ALLENHURST, NJ

Drawing | **FIRST FLOOR PLAN**

Date | FEBRUARY 7, 2020

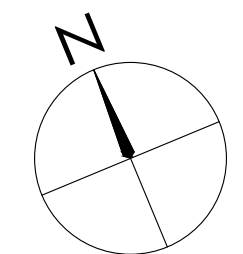
Scale | 1/8" = 1'-0"

Drawing # | **A 101**

Date	Description
06.16.2020	ISSUED FOR FILING
02.07.2020	ISSUED FOR FILING

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW FOUNDATION WALL W/ BRICK FACE
- (1) LAYER 3" GYP. BOARD APPLIED TO EACH SIDE OF 3-1/2" WOOD STUDS WITH SOUND BATT INSULATION
- AREA OF NEW EXTENSION



Project Architect
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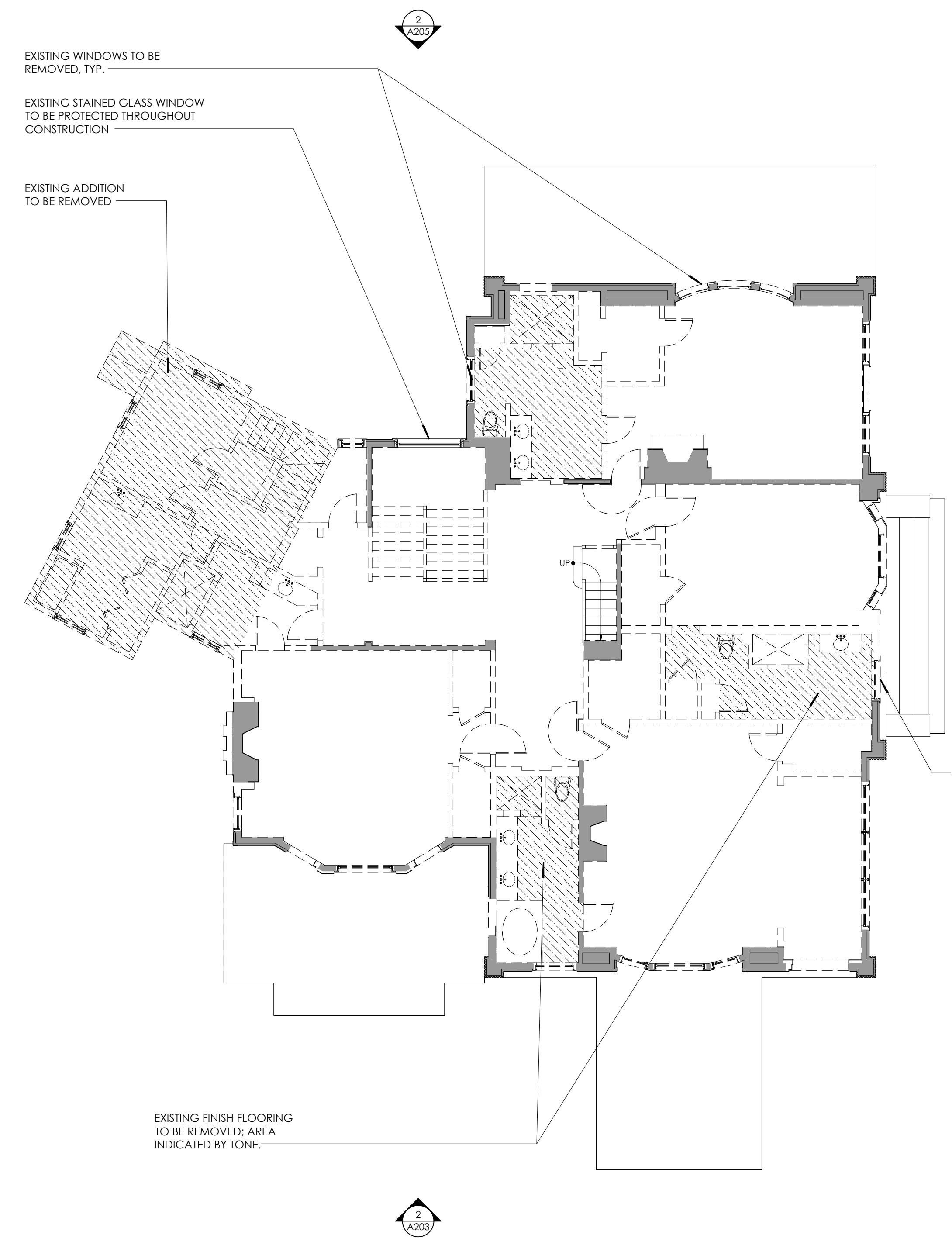
Project **THE BELDEN ESTATE**
 45 NORWOOD AVE
 ALLENHURST, NJ

Drawing # SECOND FLOOR PLAN

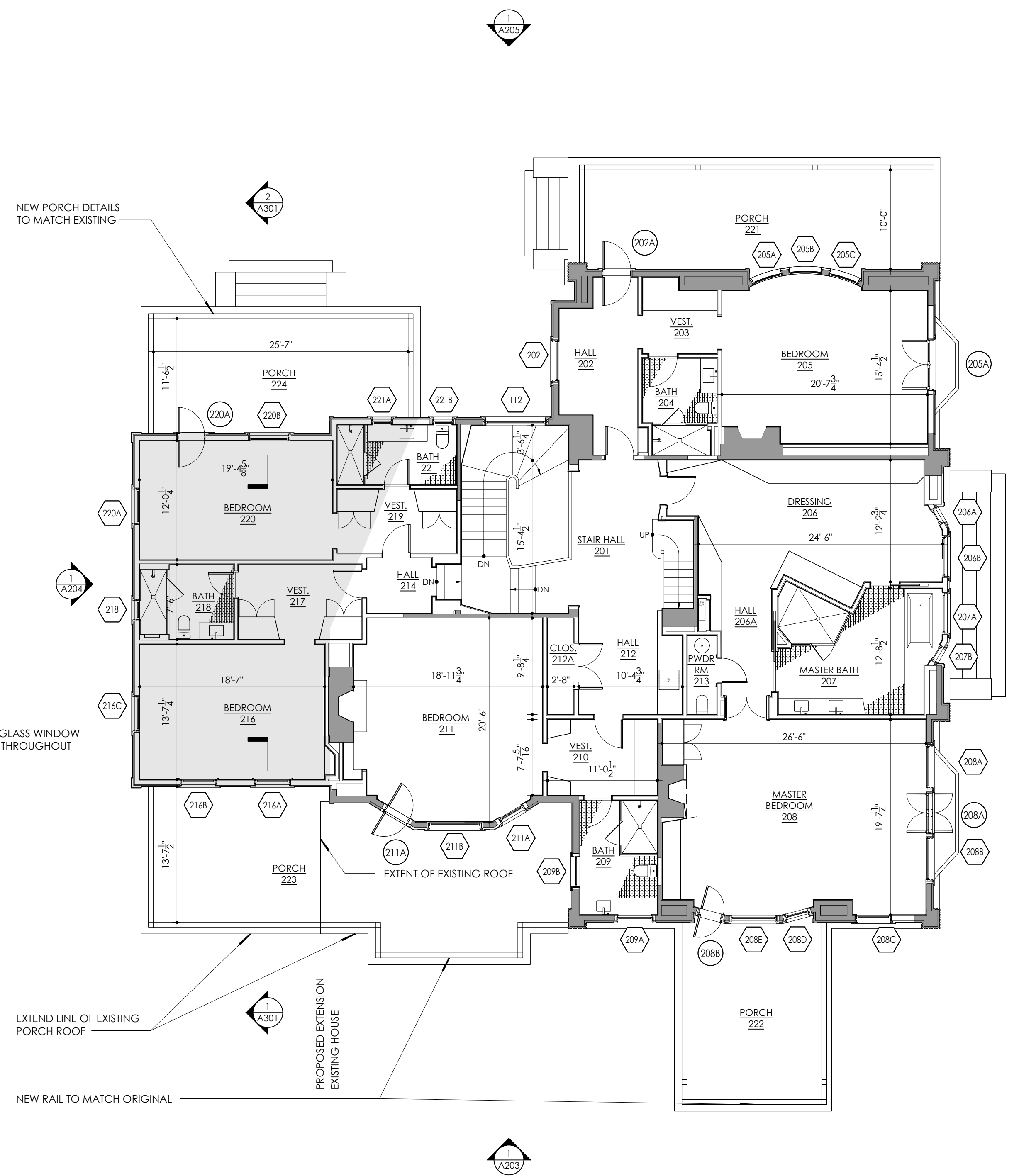
Date FEBRUARY 7, 2020

Scale 1/8" = 1'-0"

Drawing # A 102



2 EXISTING SECOND FLOOR PLAN

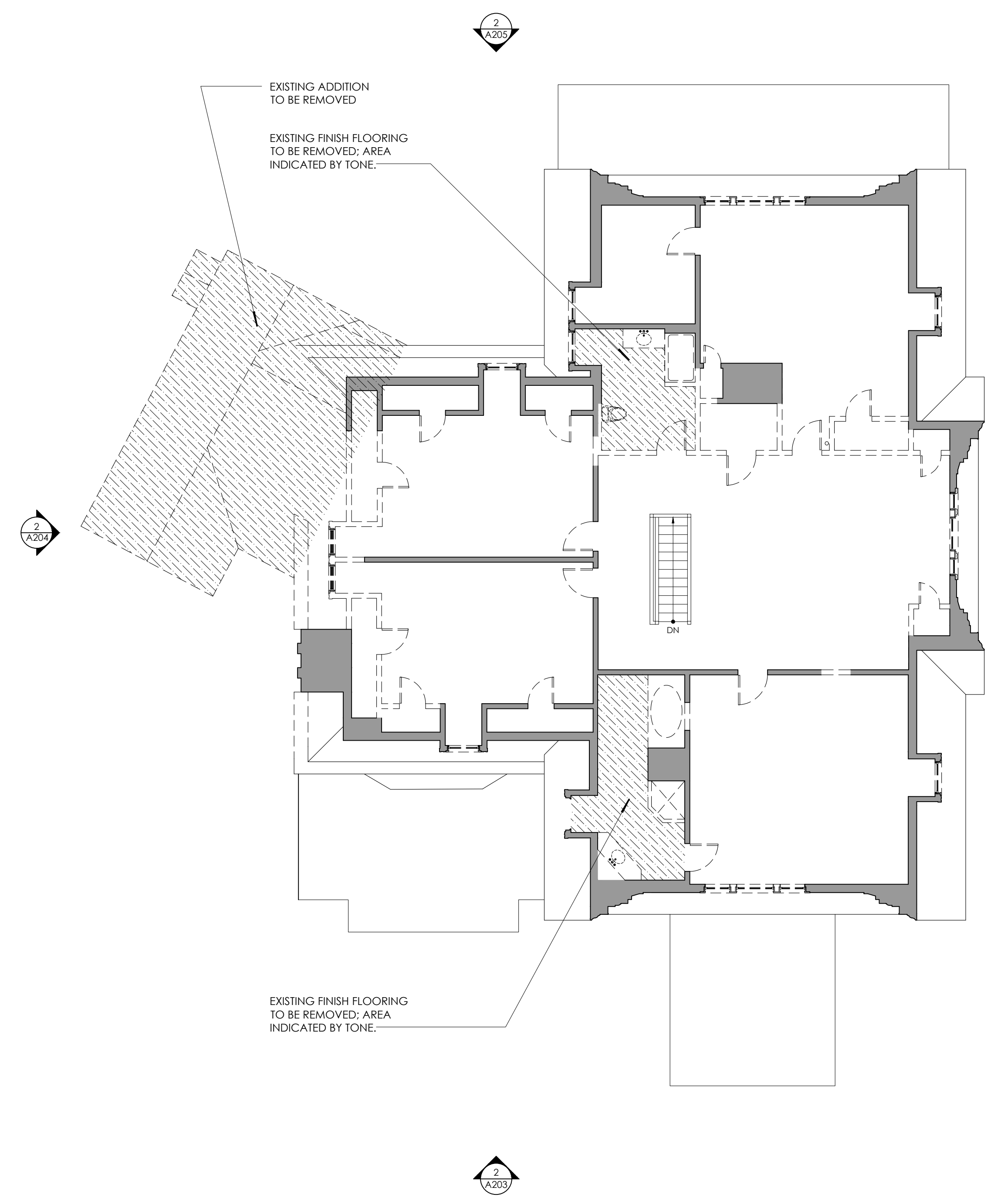


1 PROPOSED SECOND FLOOR PLAN

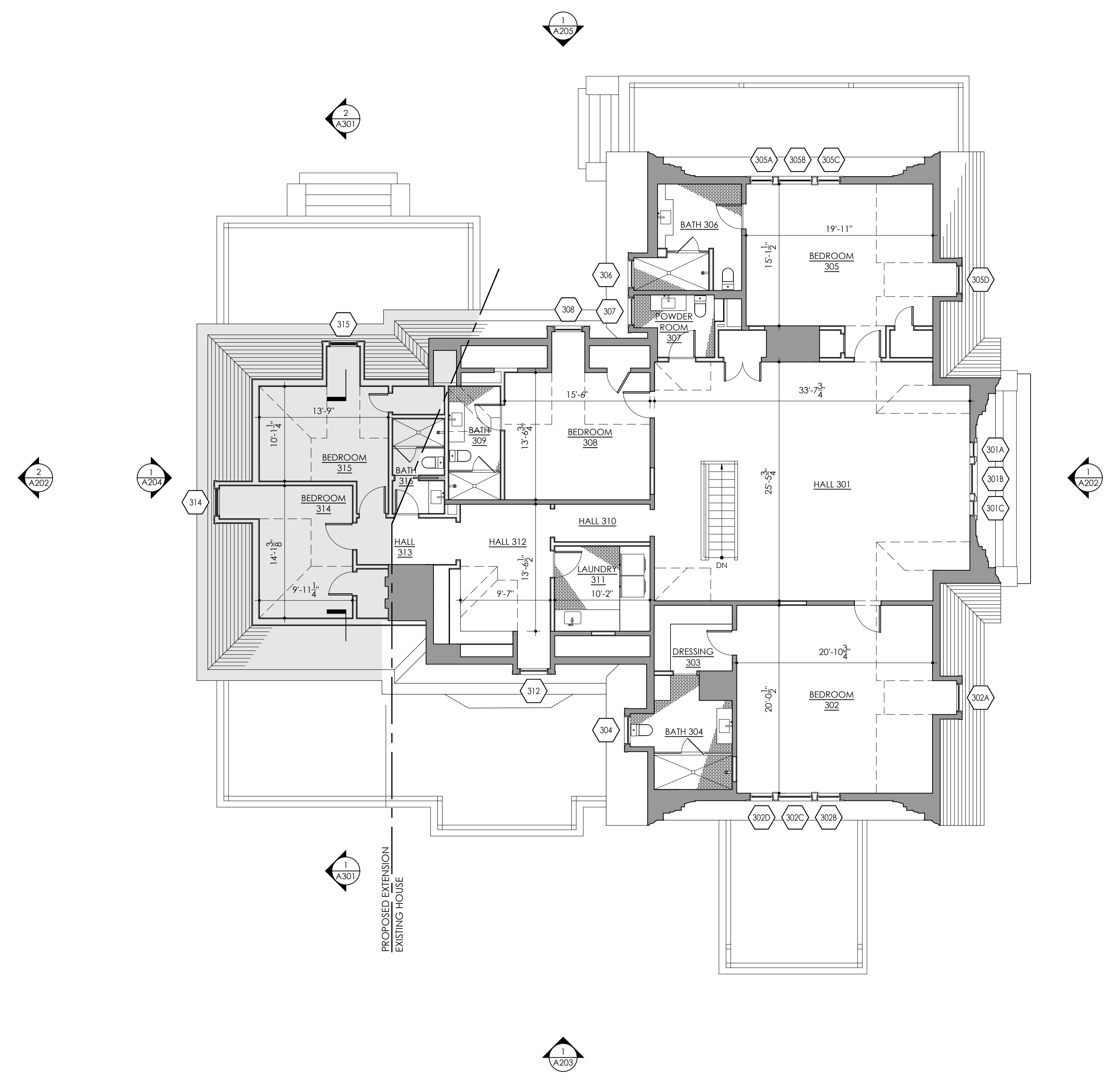
Date	Description
06.16.2020	ISSUED FOR FILING
02.07.2020	ISSUED FOR FILING

LEGEND

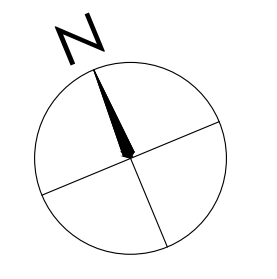
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW FOUNDATION WALL W/ BRICK FACE
- (1) LAYER 3/4" GYP. BOARD APPLIED TO EACH SIDE OF 3-1/2" WOOD STUDS WITH SOUND BATT INSULATION
- AREA OF NEW EXTENSION



2 EXISTING ATTIC FLOOR PLAN



1 PROPOSED ATTIC FLOOR PLAN



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Project **THE BELDEN ESTATE**
 45 NORWOOD AVE
 ALLENHURST, NJ

Drawing | ATTIC FLOOR PLAN

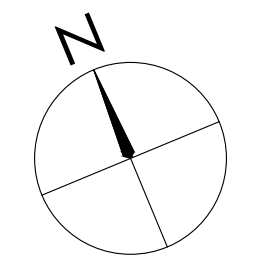
Date | FEBRUARY 7, 2020

Scale | 1/8" = 1'-0"

Date	Description
06.18.2020	ISSUED FOR FILING
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LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	NEW FOUNDATION WALL W/ BRICK FACE
	(1) LAYER 3/4" GYP. BOARD APPLIED TO EACH SIDE OF 3-1/2" WOOD STUDS WITH SOUND BATT INSULATION
	AREA OF NEW EXTENSION

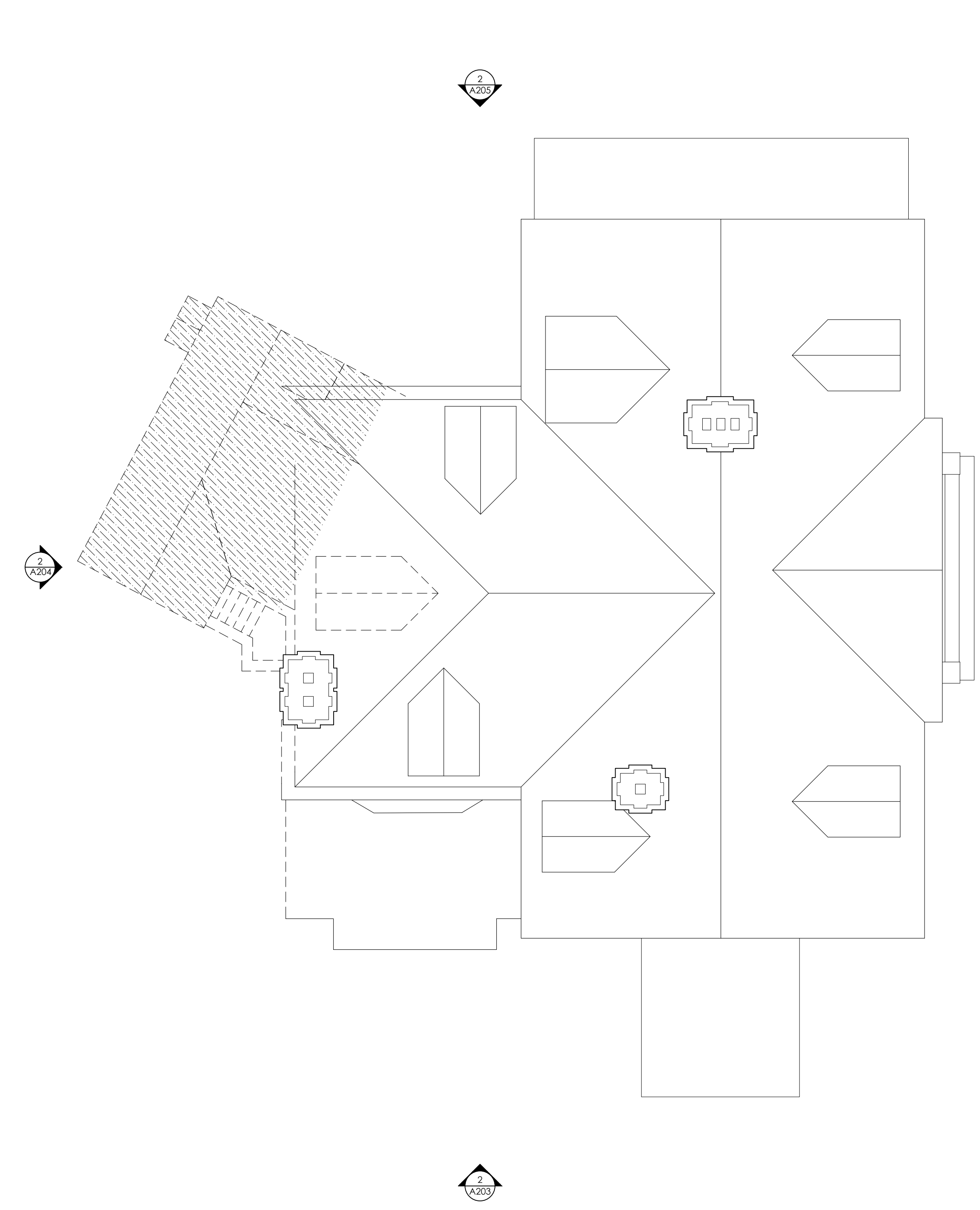


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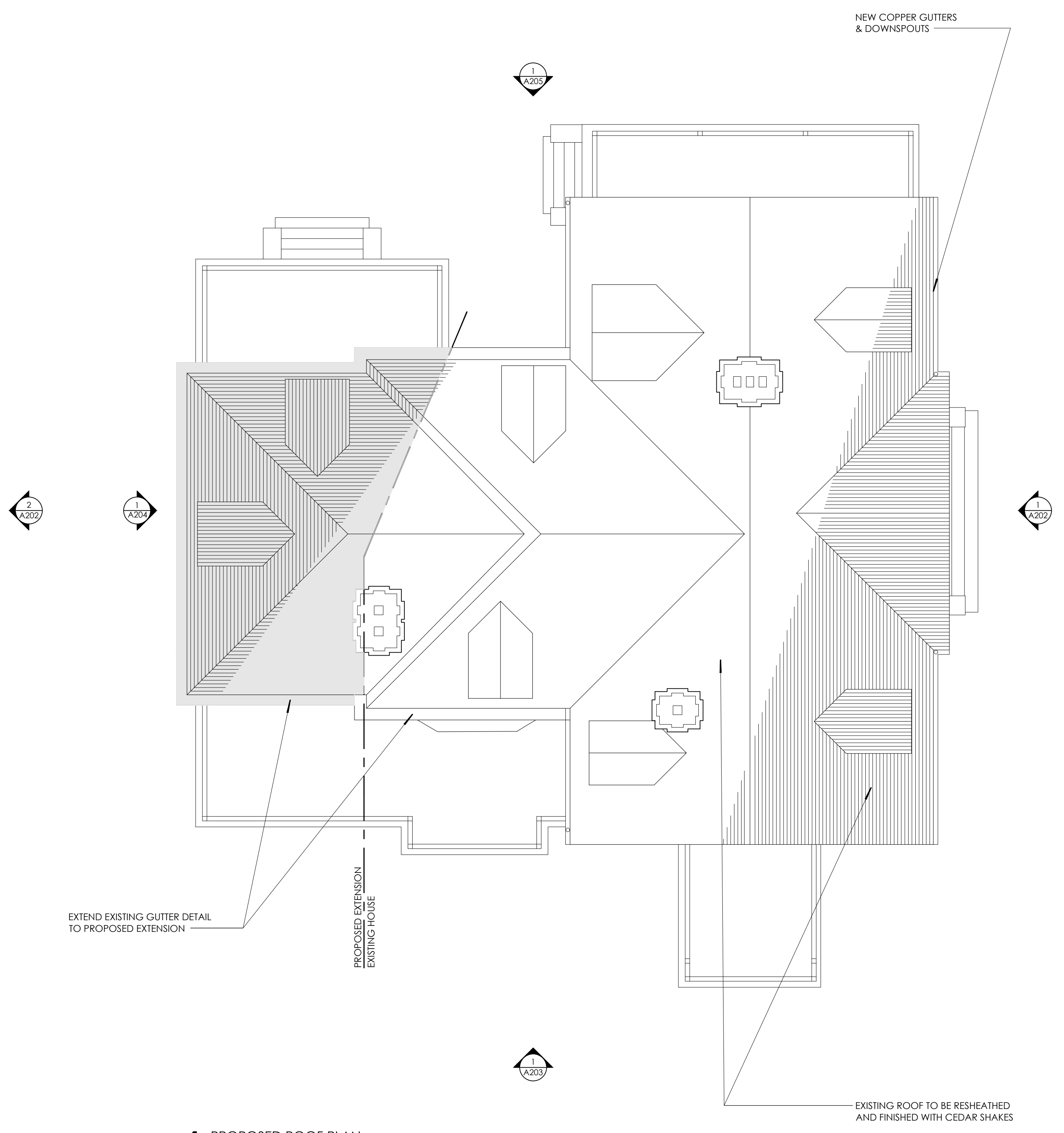
Project **THE BELDEN ESTATE**
 45 NORWOOD AVE
 ALLENHURST, NJ

Drawing **ROOF PLAN**

Date | FEBRUARY 5, 2020
 Scale | 1/8" = 1'-0" Drawing # | **A 104**



2 EXISTING ROOF PLAN



1 PROPOSED ROOF PLAN



2 PROPOSED VIEW FROM ELBERON AVE



1 PROPOSED VIEW FROM NORWOOD AVE

Date	Description
06.16.2020	ISSUED FOR FILING
02.07.2020	ISSUED FOR FILING

Project Architect
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Project **THE BELDEN ESTATE**
 45 NORWOOD AVE
 ALLENHURST, NJ

Drawing **STREET VIEWS**
 PROPOSED "B"

Date FEBRUARY 7, 2020
 Scale NTS
 Drawing # | **A** 201



DETAIL OF CURRENT PORCH RAILING



2019 CURRENT CONDITION OF HOUSE - FACADE FACING NORWOOD AVE.



C1901 PHOTO OF HOUSE PUBLISHED IN SCIENTIFIC AMERICAN



C1901 DETAIL @ PORTE COCHERE



C1901 DETAIL @ BALCONY & PORCH RAILING

- GENERAL NOTES**
1. Remove non-essential hardware: old awning mounts & tie backs, old shutter clasps.
 2. All existing paint to be stripped to evaluate condition of wood trim & siding.
 3. Unless otherwise noted, existing windows shall be replaced w/ new, matching profile & size, thermal pane windows.



2 EAST FACADE
EXISTING



1 EAST FACADE
PROPOSED

REMOVE INFILL AT ORIGINAL WINDOWS

C1950S ADDITION TO BE REMOVED

OUTLINE OF LOST RAILING

REMOVE INFILL AT ORIGINAL WINDOW

OUTLINE OF LOST BALCONY

REMOVE NON-ORIGINAL PORCH INFILL; SALVAGE CORNICE & ROOF AS POSSIBLE

NON-ORIGINAL RAILING TO BE REMOVED

2 SOUTH FACADE
EXISTING



2019 CURRENT CONDITION OF HOUSE - REAR ADDITION



DETAIL @ INFILLED WINDOW



2019 CURRENT CONDITION OF HOUSE - FACADE FACING ELBERON AVE.



C1901 VIEW FROM ELBERON AVE.

06.18.2020 ISSUED FOR FILING
02.07.2020 ISSUED FOR FILING

Date Description

GENERAL NOTES

1. Remove non-essential hardware: old awning mounts & tie backs, old shutter clasps.
2. All existing paint to be stripped to evaluate condition of wood trim & siding.
3. Unless otherwise noted, existing windows shall be replaced w/ new, matching profile & size, thermal pane windows.



1 SOUTH FACADE
PROPOSED

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Project **THE BELDEN ESTATE**
45 NORWOOD AVE
ALLENHURST, NJ

Drawing **EXTERIOR ELEVATION**
SOUTH FACADE

Date FEBRUARY 7, 2020
Scale 3/16" = 1'-0"
Drawing # **A 203**



2 WEST FACADE
EXISTING



1 WEST FACADE
PROPOSED



DETAIL @ INFILLED WINDOWS



2019 VIEW OF REAR OF HOUSE



2019 VIEW OF REAR ADDITION

06.18.2020 ISSUED FOR FILING
02.07.2020 ISSUED FOR FILING

Date | Description

- GENERAL NOTES**
1. Remove non-essential hardware: old awning mounts & tie backs, old shutter clasps.
 2. All existing paint to be stripped to evaluate condition of wood trim & siding.
 3. Unless otherwise noted, existing windows shall be replaced w/ new, matching profile & size, thermal pane windows.

Project Architect
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Project **THE BELDEN ESTATE**
45 NORWOOD AVE
ALLENHURST, NJ

Drawing **EXTERIOR ELEVATION WEST FACADE**

Date | FEBRUARY 7, 2020
Scale | 3/16" = 1'-0"
Drawing # | **A 204**

Date	Description
06.18.2020	ISSUED FOR FILING
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- GENERAL NOTES**
1. Remove non-essential hardware: old awning mounts & tie backs, old shutter clasps.
 2. All existing paint to be stripped to evaluate condition of wood trim & siding.
 3. Unless otherwise noted, existing windows shall be replaced w/ new, matching profile & size, thermal pane windows.



2 NORTH FACADE
EXISTING



1 NORTH FACADE
PROPOSED



2019 VIEW OF REAR ADDITION



2019 DETAIL @ PORCH RAILING



2019 DETAIL @ PORCH RAILING



C1905 VIEW FROM ALLEN AVE.

Project Architect
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9 EAST 19TH STREET 9TH FLOOR NEW YORK, NY 10003 212 929 9787 TEL

Project **THE BELDEN ESTATE**
45 NORWOOD AVE
ALLENHURST, NJ

Drawing **EXTERIOR ELEVATION**
NORTH FACADE

Date FEBRUARY 7, 2020
Scale 3/16" = 1'-0"
Drawing # **A 205**



2019 CURRENT CONDITION OF EXISTING GARAGE



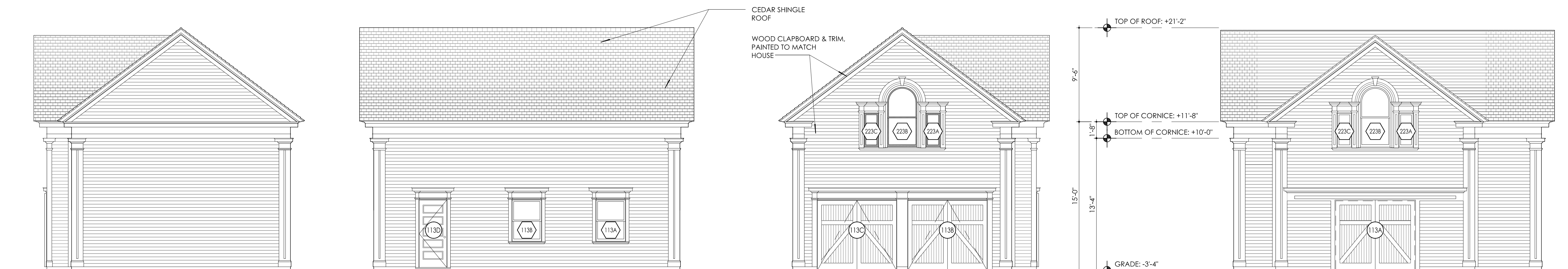
2019 CURRENT CONDITION OF EXISTING GARAGE

06.16.2020 ISSUED FOR FILING
02.07.2020 ISSUED FOR FILING

Date Description

LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW FOUNDATION WALL W/ BRICK FACE
- (1) LAYER 3/4" GYP. BOARD APPLIED TO EACH SIDE OF 3-1/2" WOOD STUDS WITH SOUND BATT INSULATION
- AREA OF NEW EXTENSION

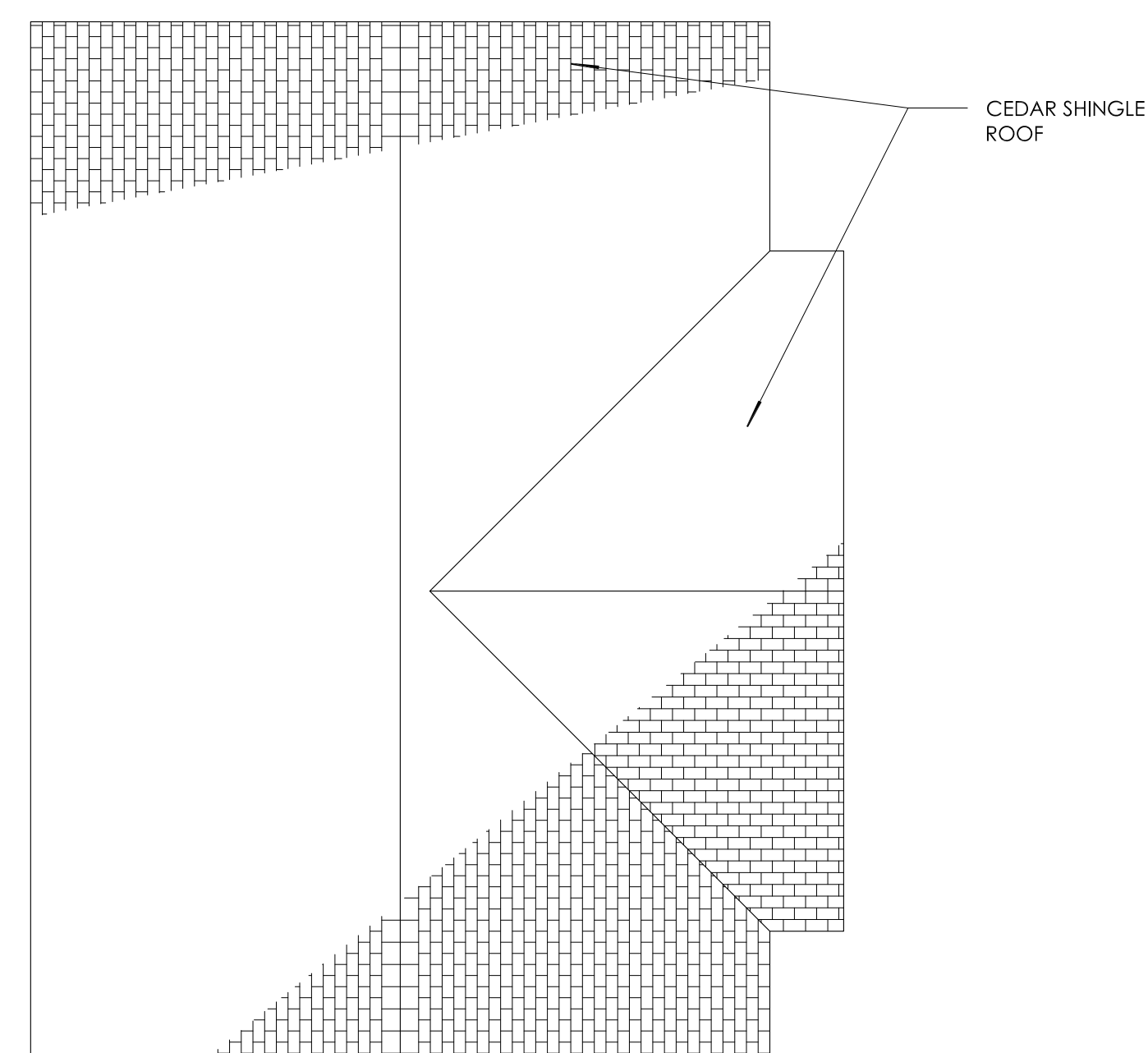


8 NORTH ELEVATION

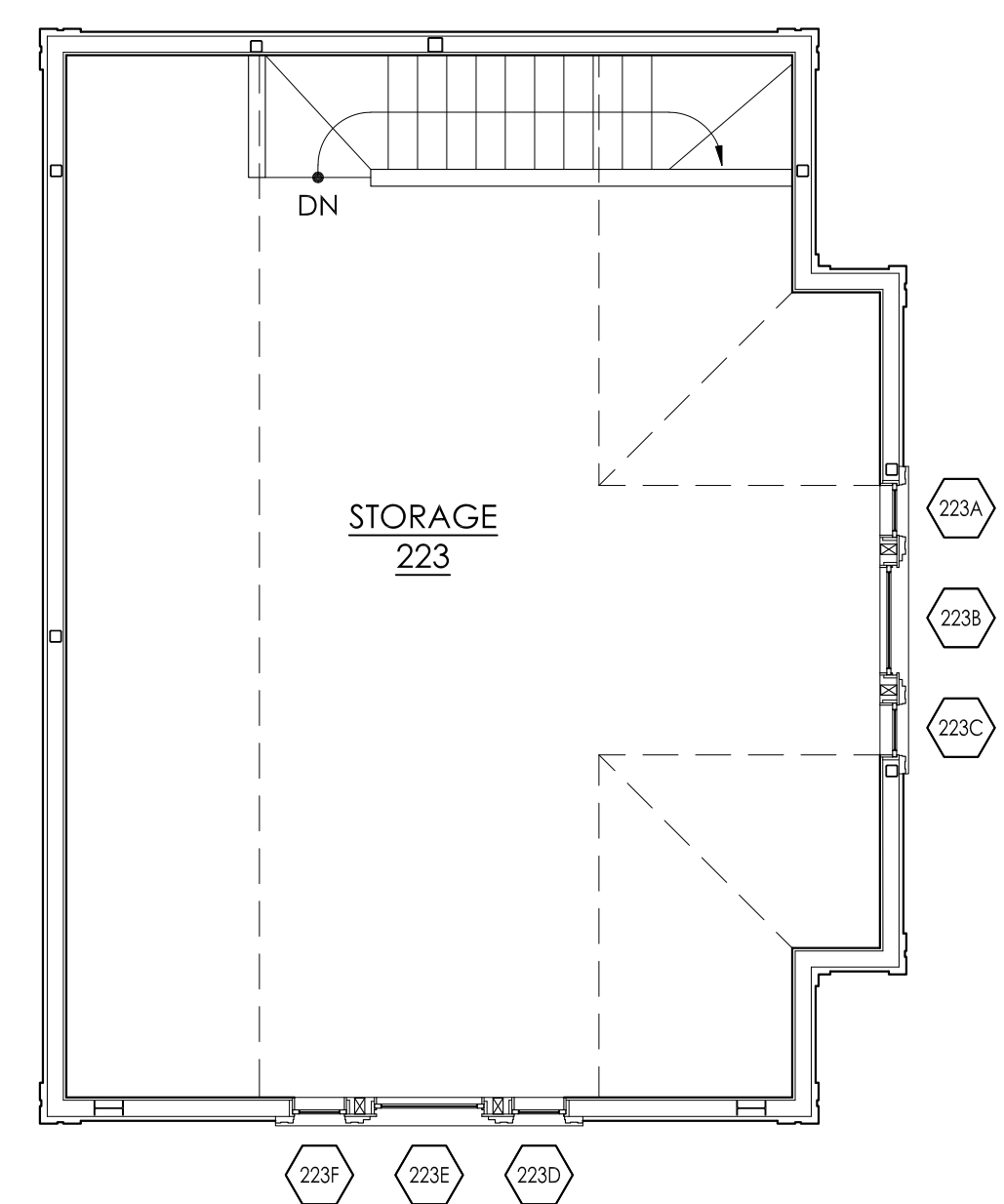
7 WEST ELEVATION

6 SOUTH ELEVATION

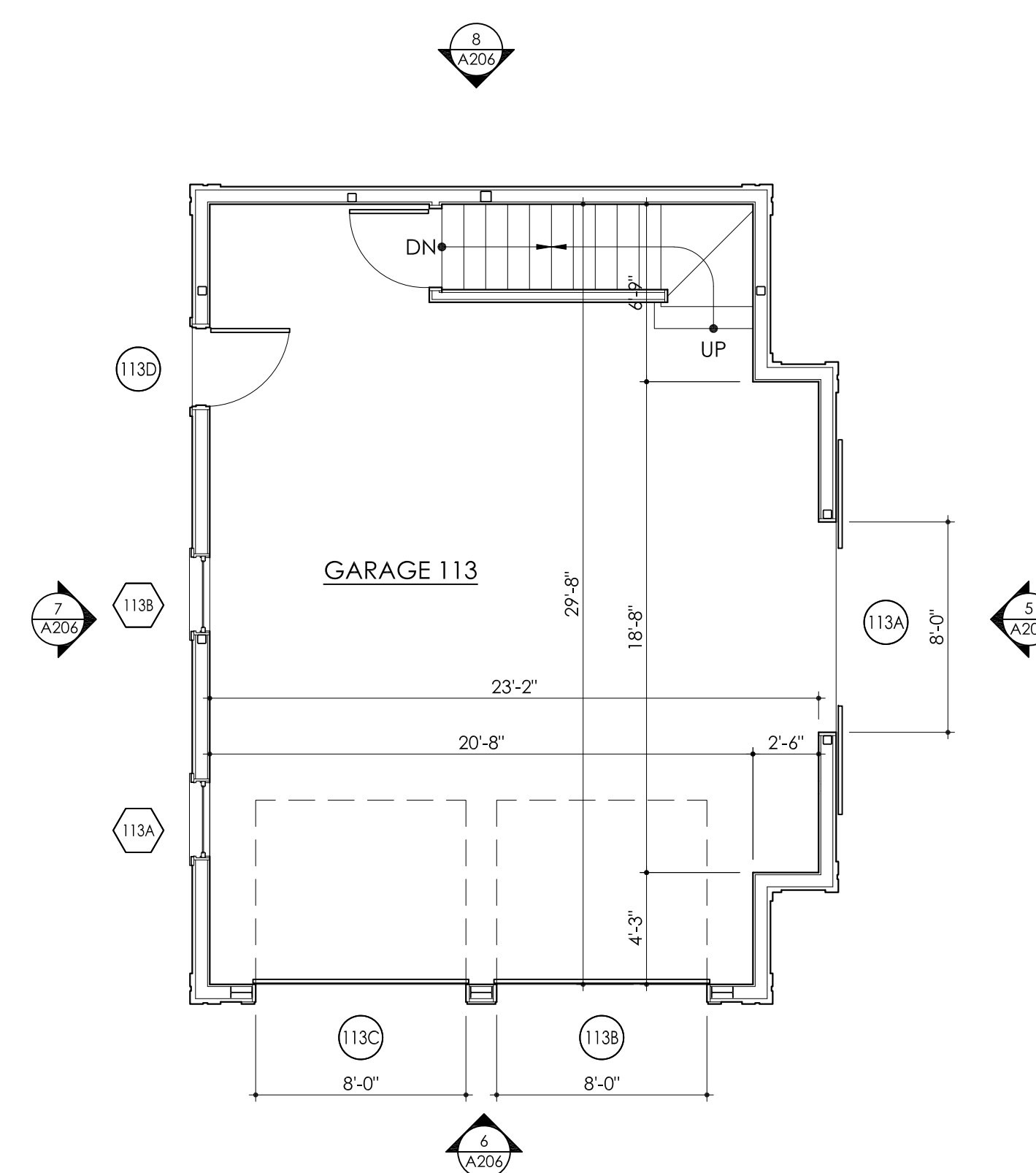
5 EAST ELEVATION



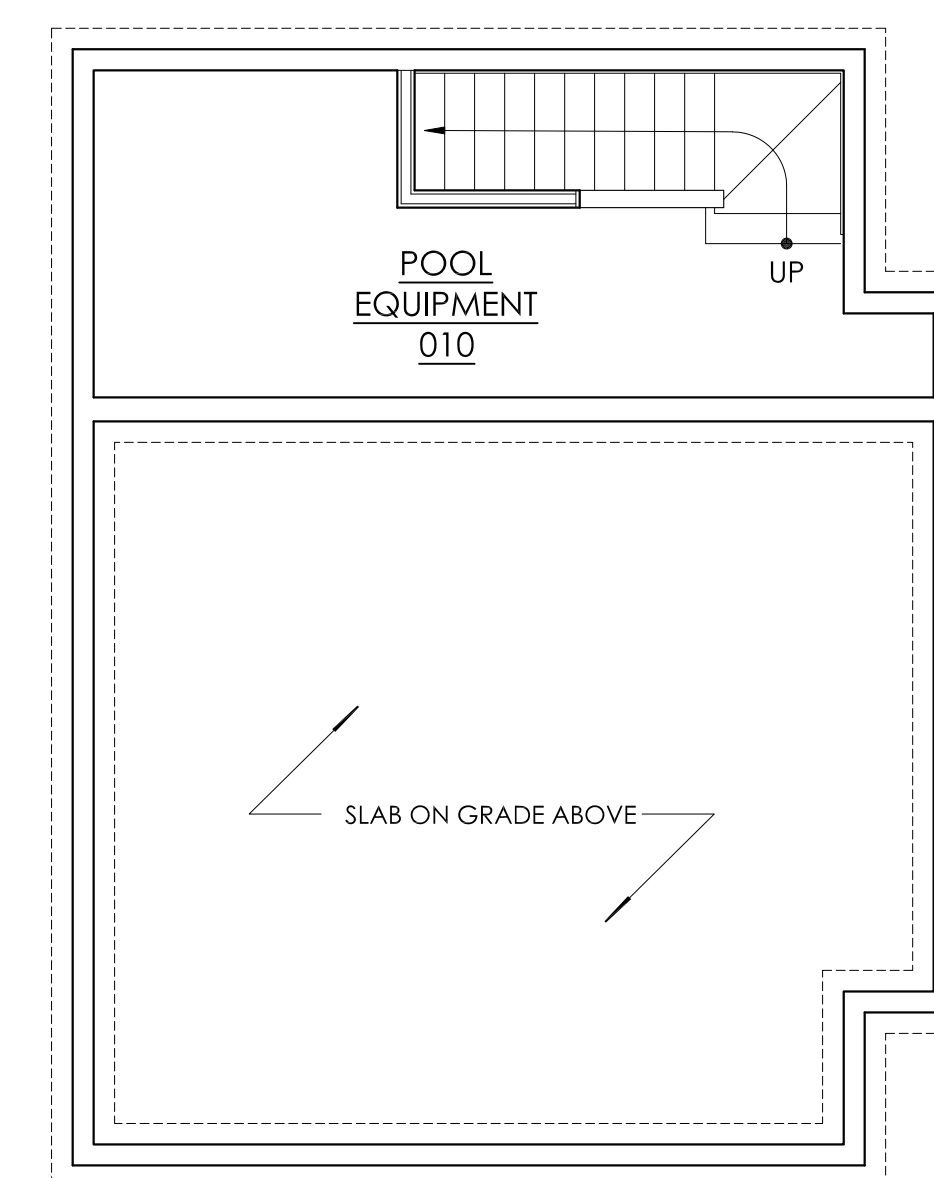
4 ROOF PLAN PROPOSED



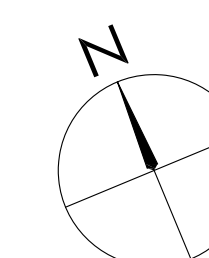
3 SECOND FLOOR PLAN PROPOSED



2 FIRST FLOOR PLAN PROPOSED



1 BASEMENT FLOOR PLAN PROPOSED



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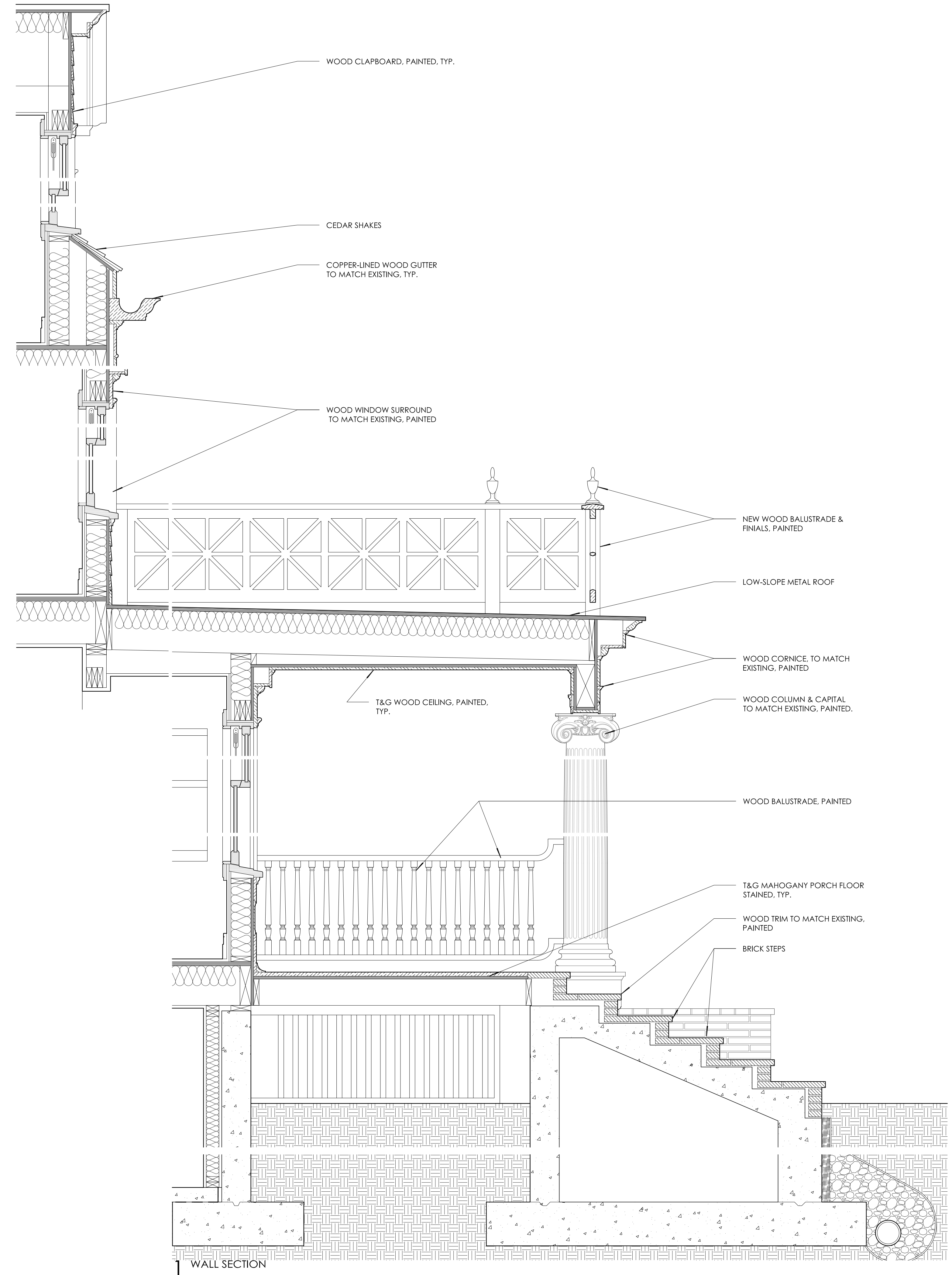
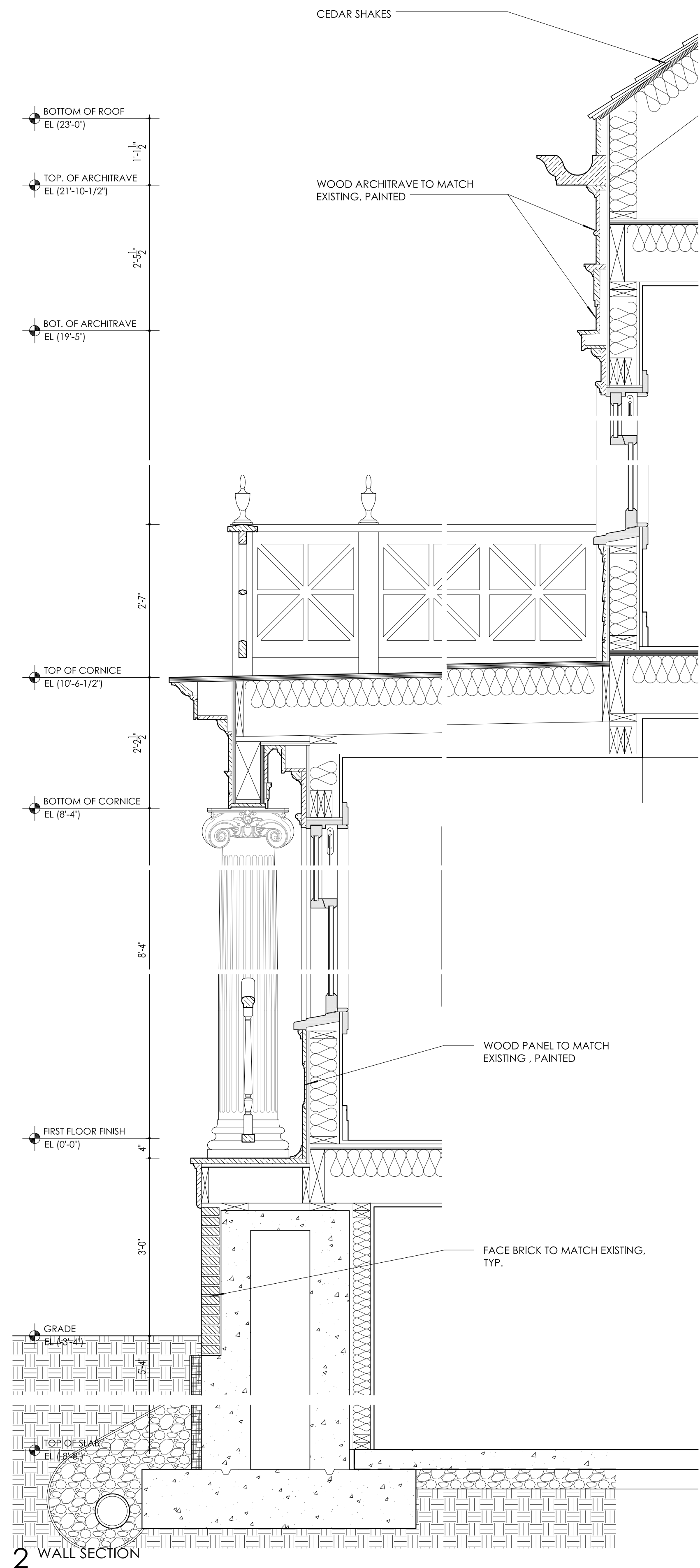
Project **THE BELDEN ESTATE**
45 NORWOOD AVE
ALLENHURST, NJ

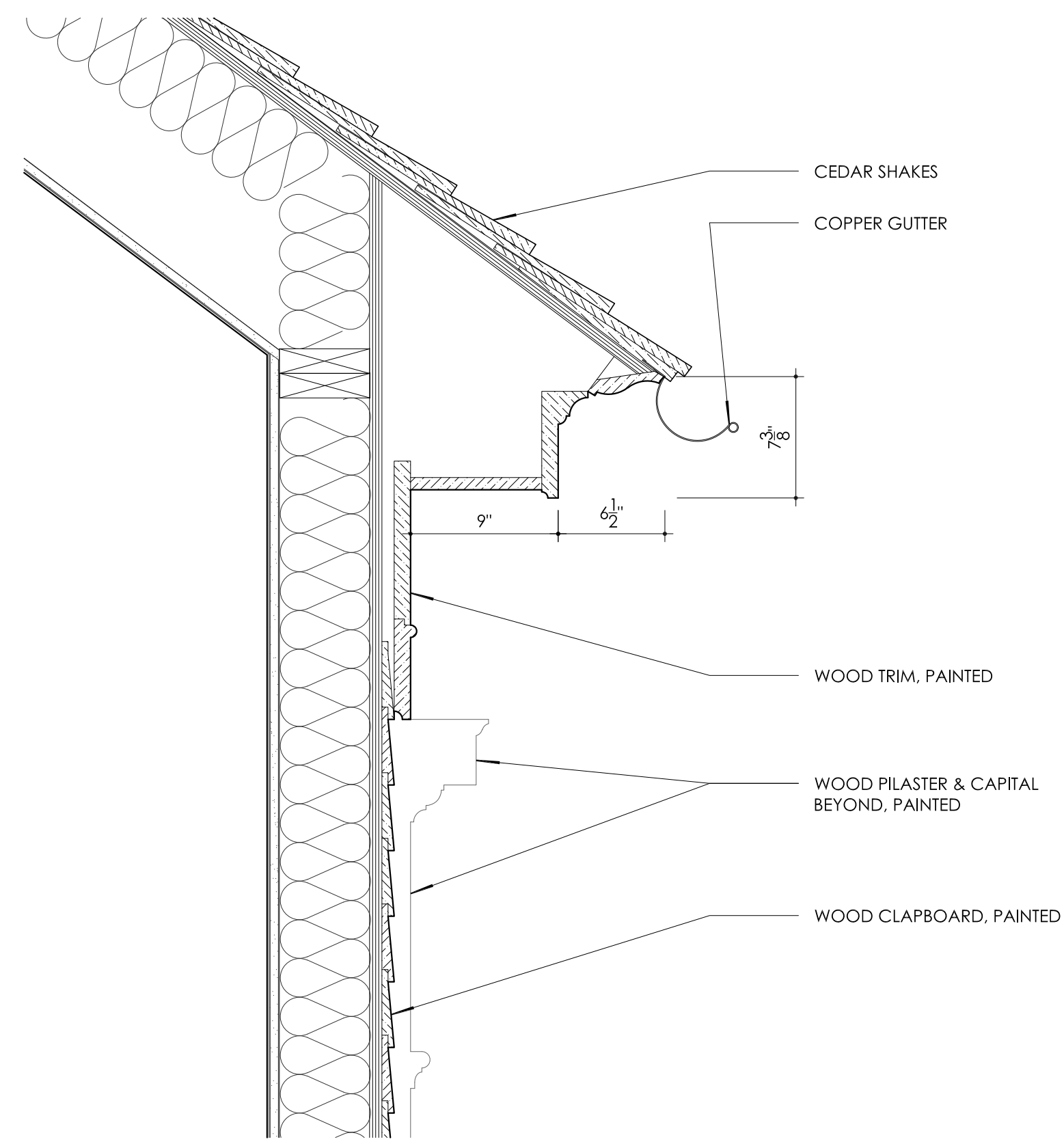
Drawing **GARAGE PLANS & ELEVATIONS**

Date FEBRUARY 7, 2020

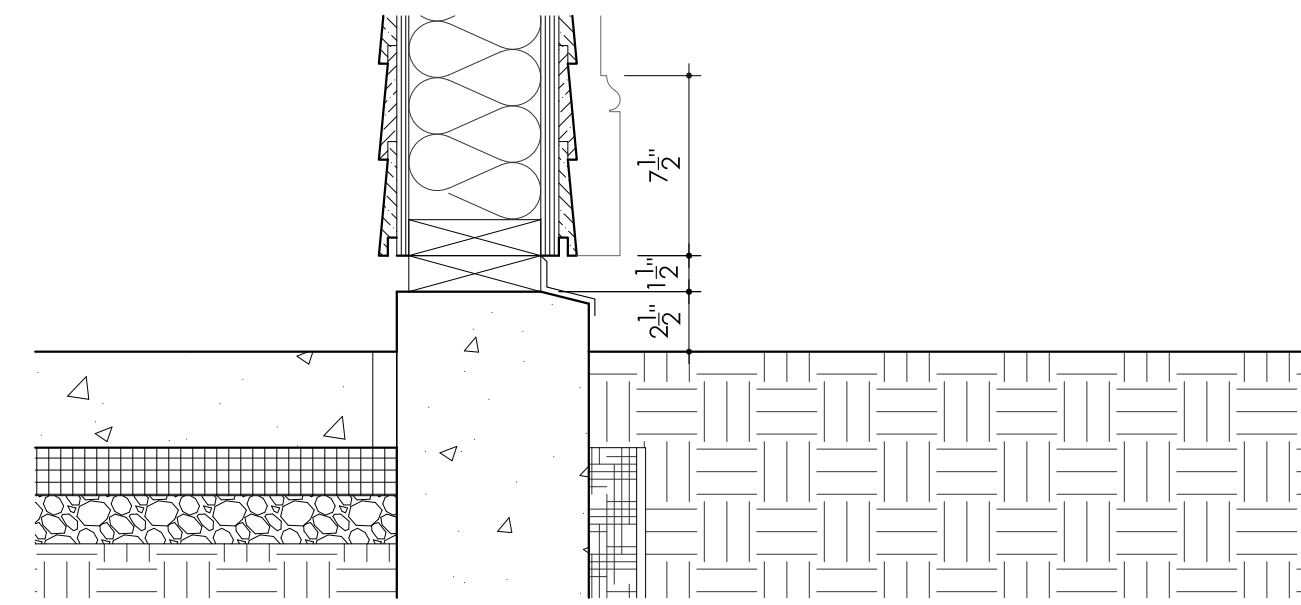
Scale 3/16" = 1'-0"

Drawing # | A 206

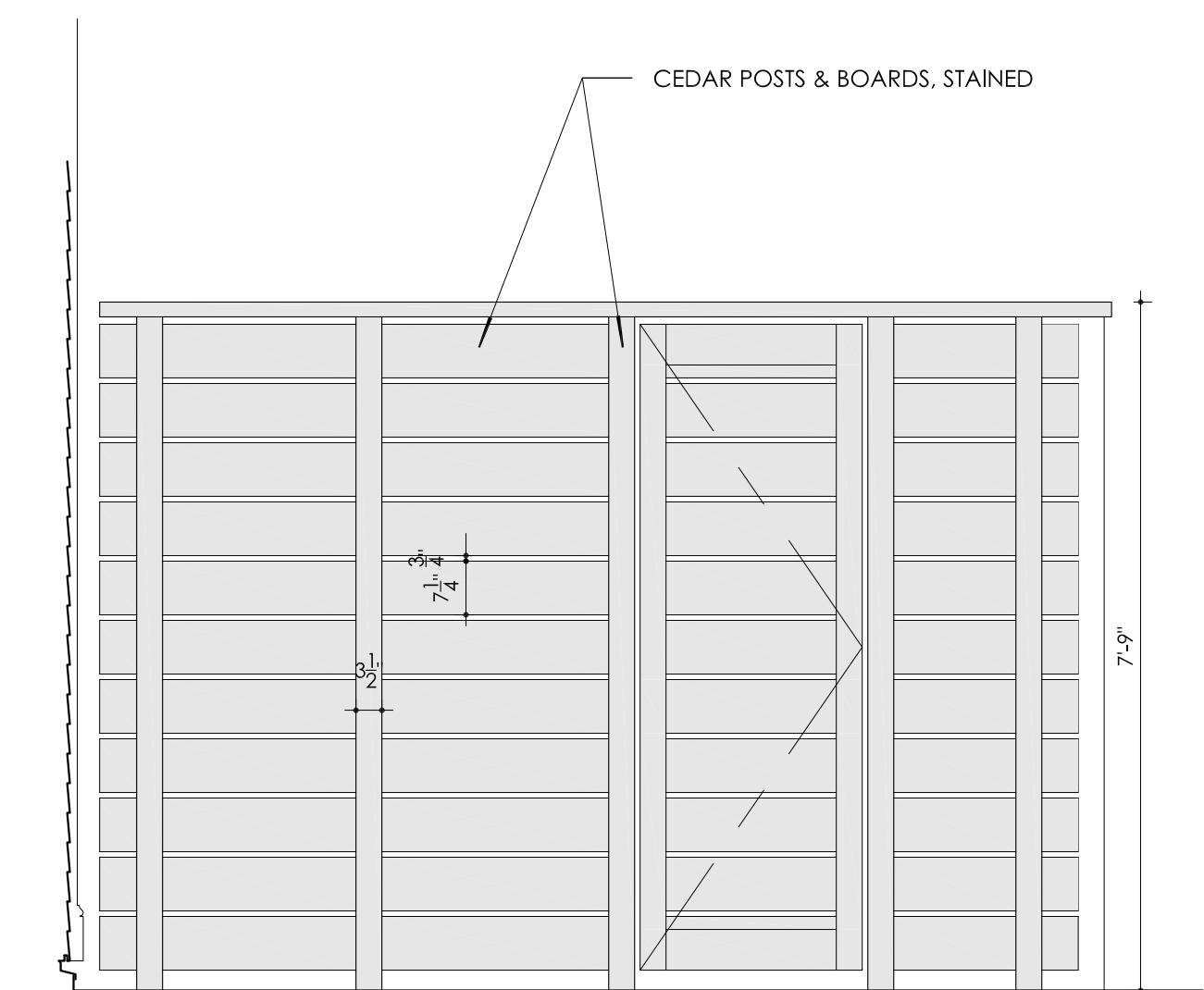




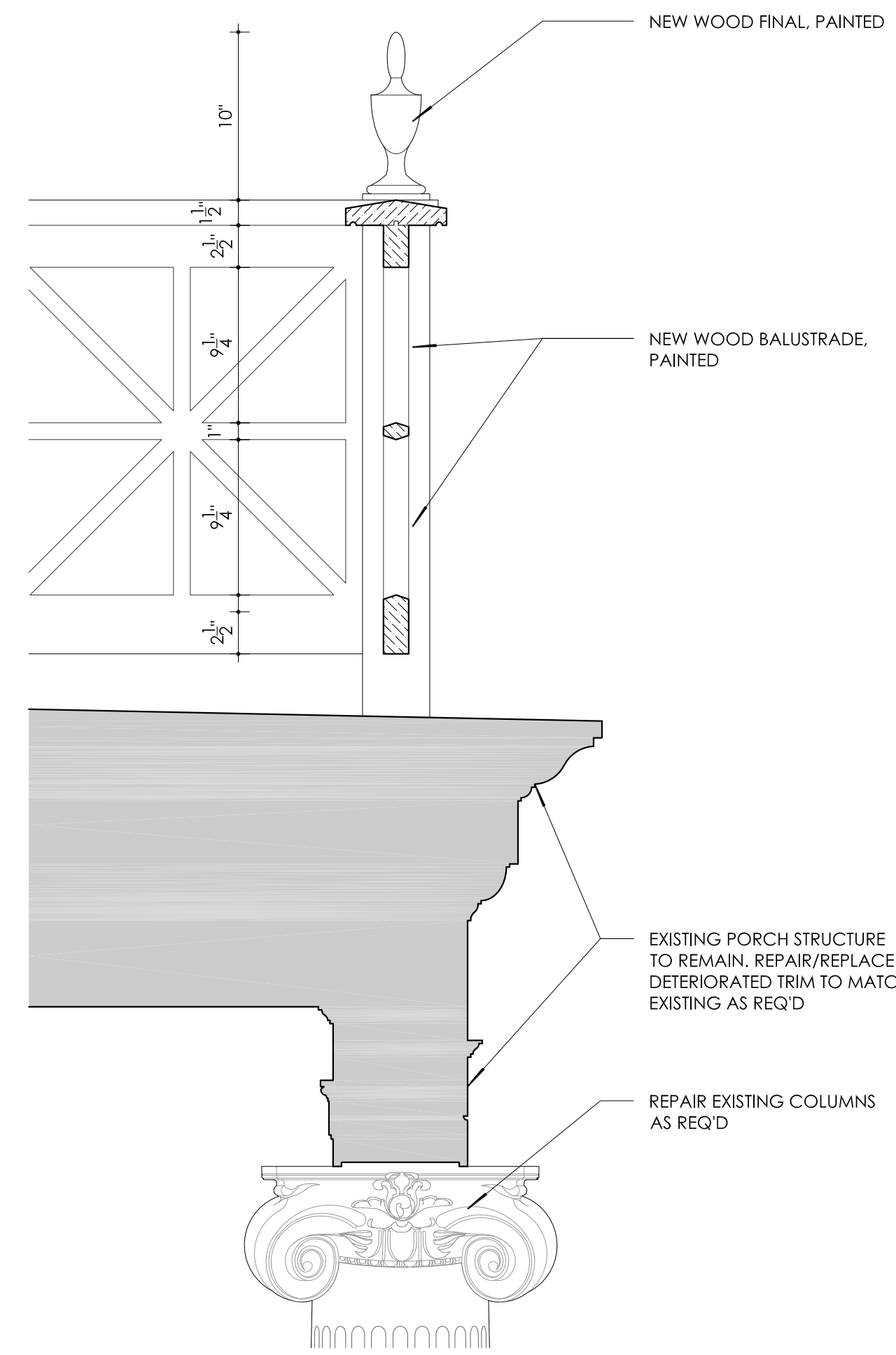
10 DETAIL @ GARAGE CORNICE
1/2" = 1'-0"



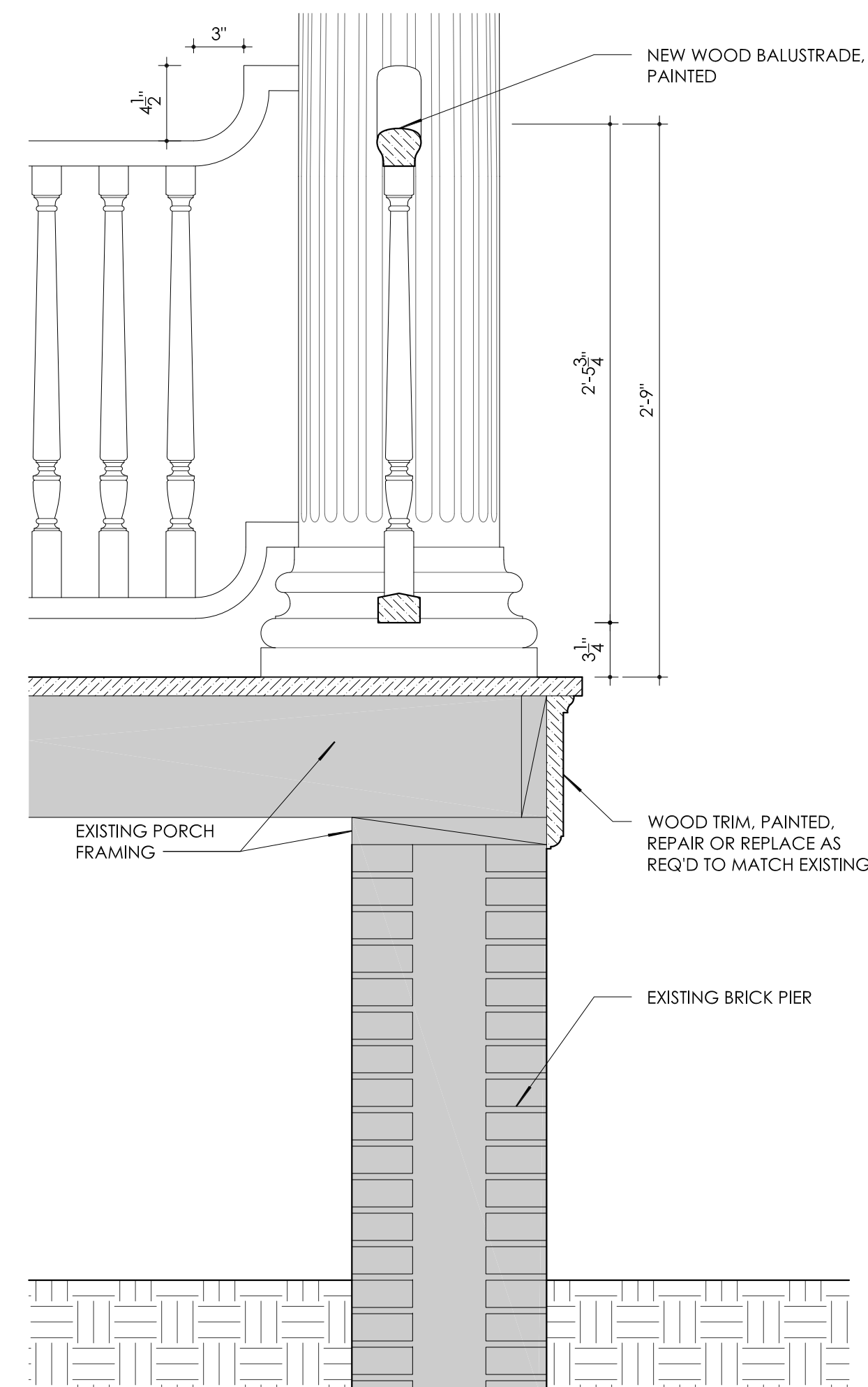
7 DETAIL @ GARAGE BASE
1/2" = 1'-0"



3 PROPOSED SHOWER ENCLOSURE
1/2" = 1'-0"



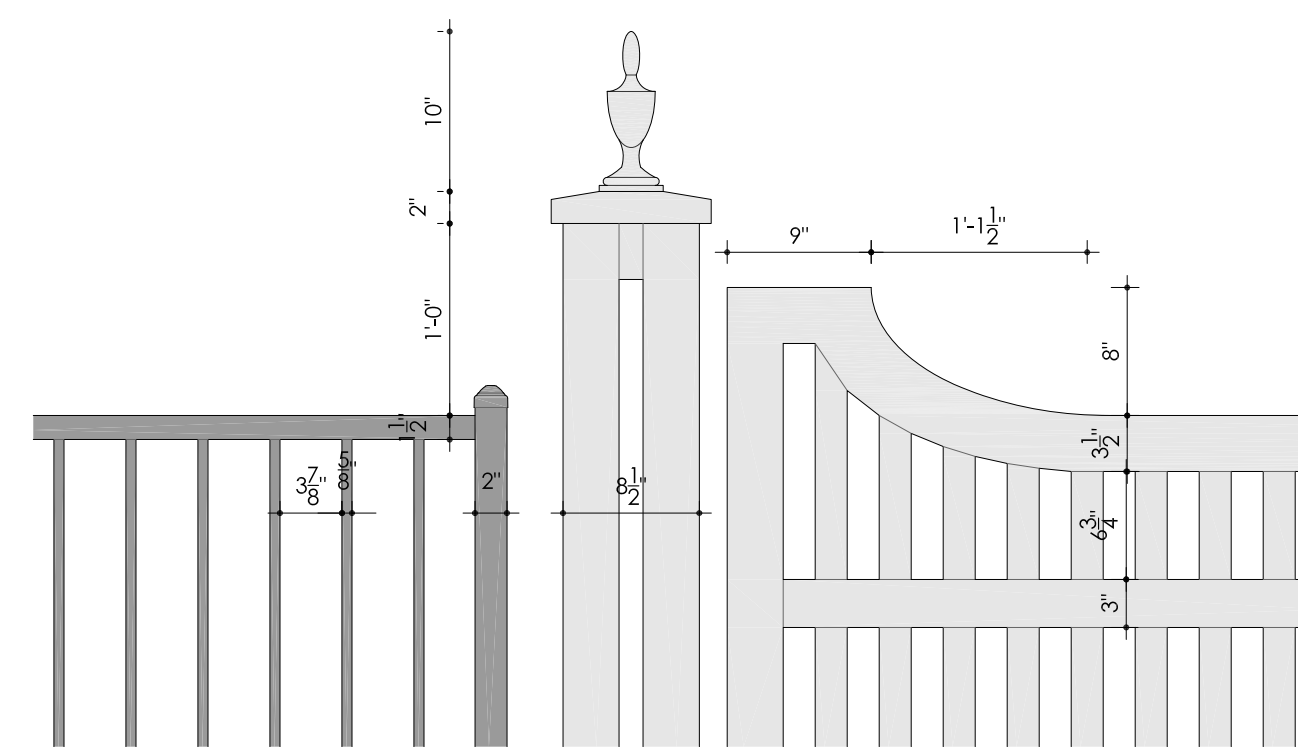
6 PROPOSED BALUSTRADE @ BALCONY
N/S



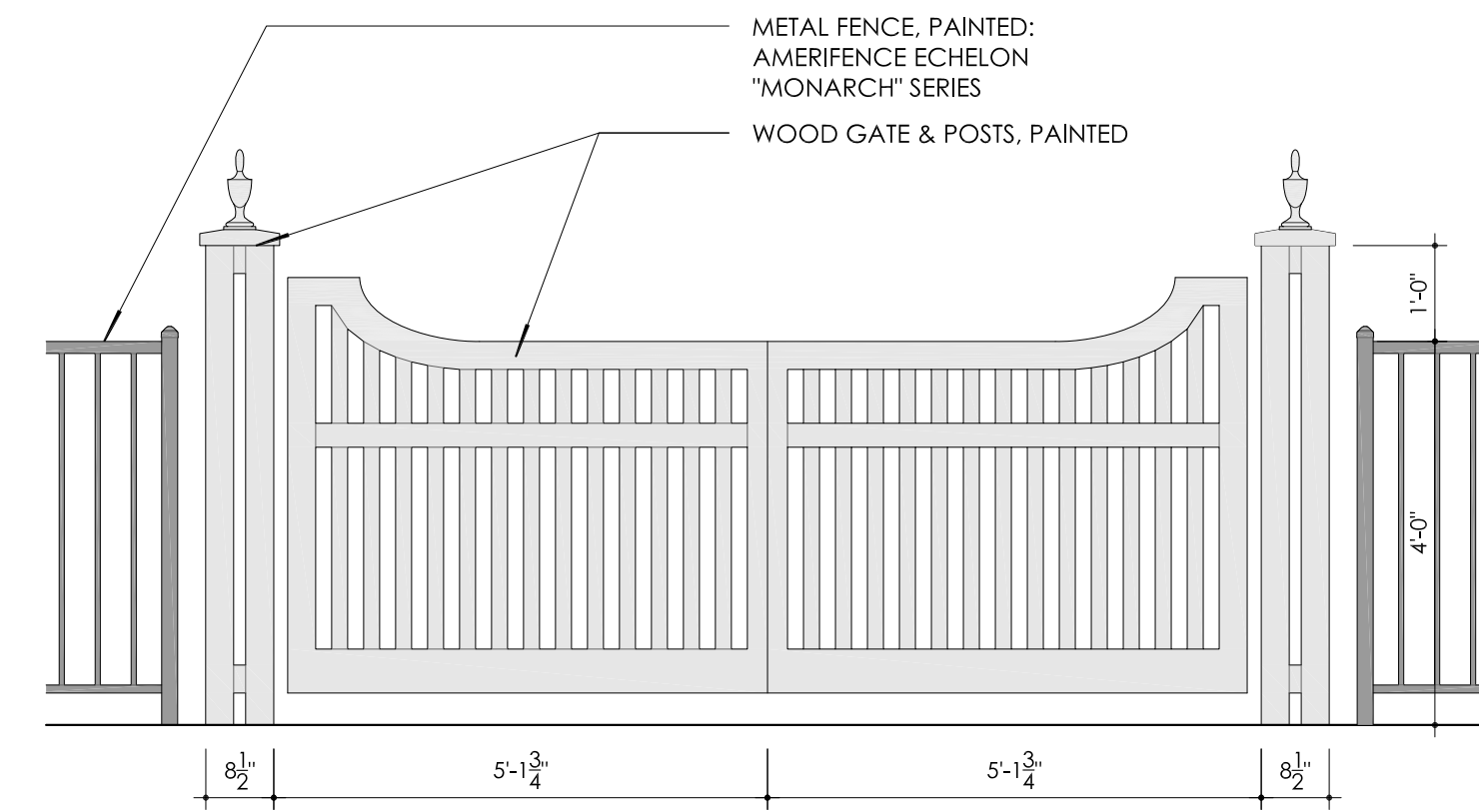
2 PROPOSED BALUSTRADE @ PORCH
1/2" = 1'-0"



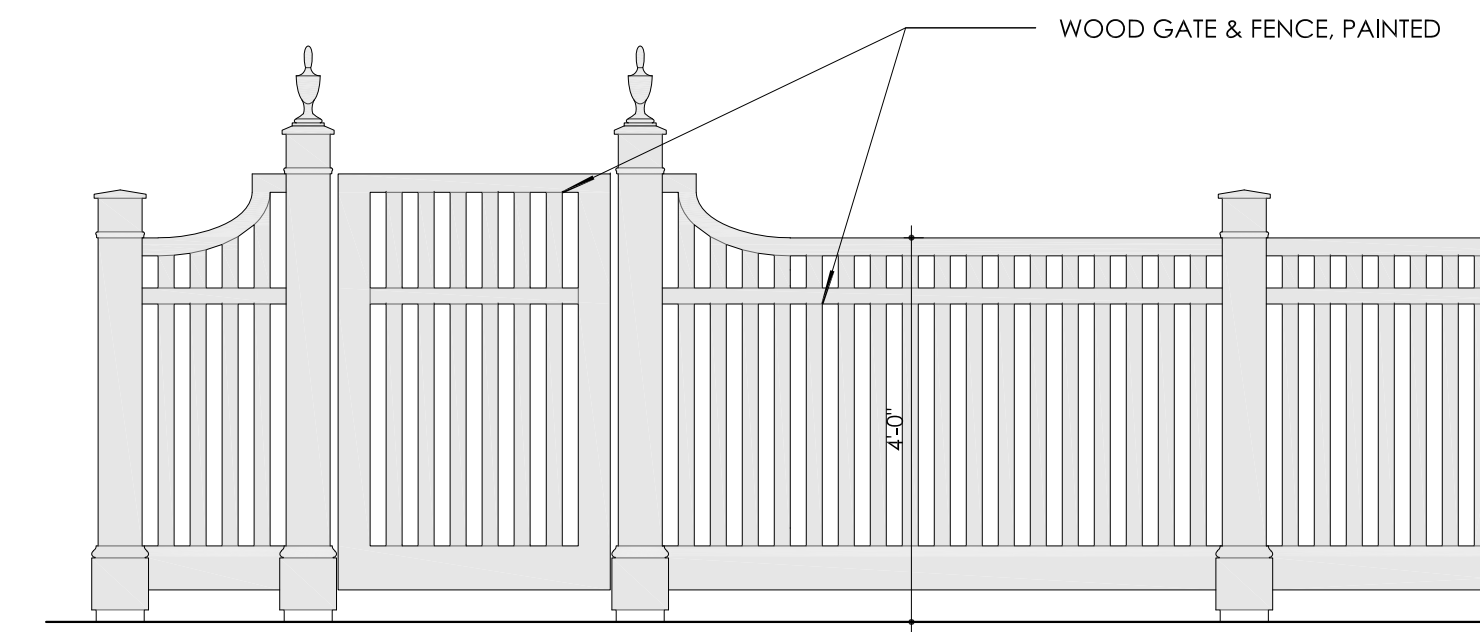
9 EXISTING PORCH BALUSTRADE
N/S



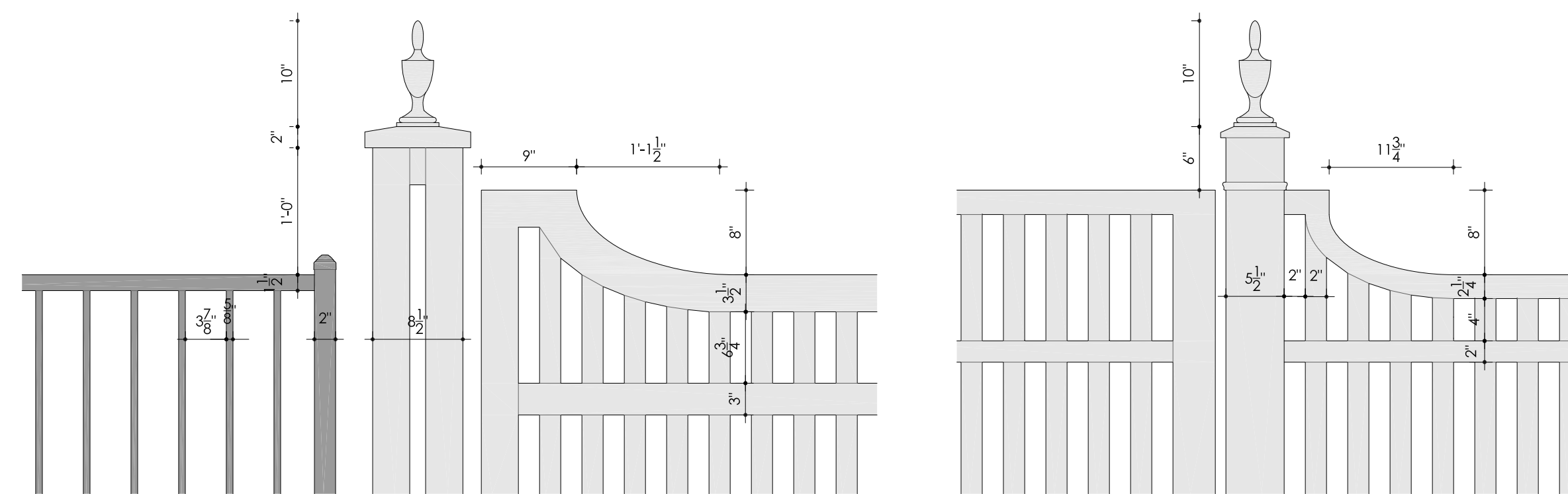
5 ENTRY GATES
1" = 1'-0"



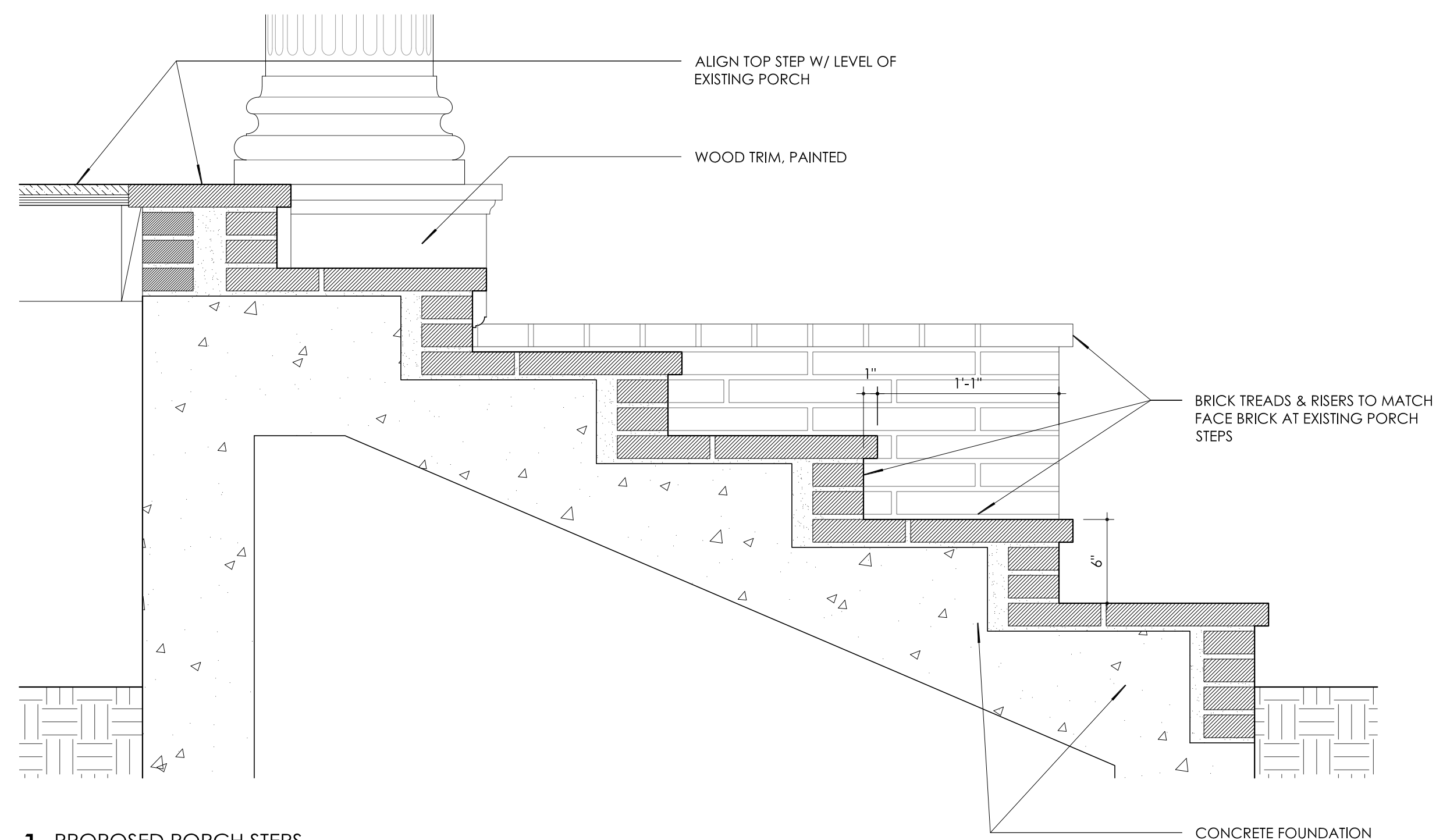
11 ENTRY GATES
1/2" = 1'-0"



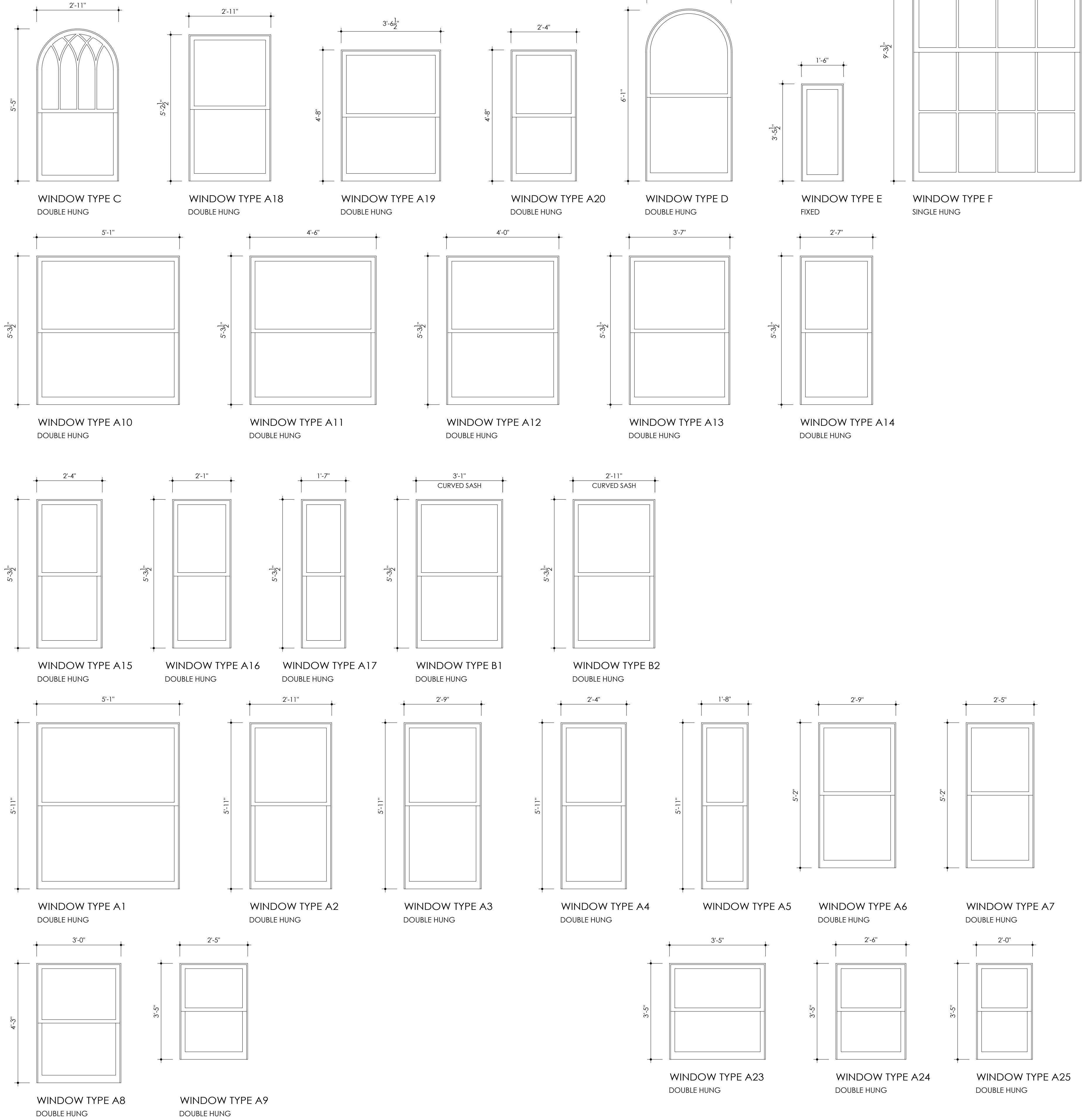
8 POOL FENCE
1/2" = 1'-0"



4 POOL FENCE
1" = 1'-0"



1 PROPOSED PORCH STEPS
1/2" = 1'-0"



WINDOW SCHEDULE ATTIC

NO.	LOCATION	TYPE	SASH DIMENSIONS WIDTH x HEIGHT	JAMB	HEAD	SILL	REMARKS
301	Hall 301	E	1'-6" x 3'-6" VIF				Existing Opening
301	Hall 301	D	3'-1" x 6'-1" VIF				Existing Opening
301	Hall 301	E	1'-6" x 3'-6" VIF				Existing Opening
302A	Bedroom 302	C	2'-11" x 5'-5" VIF				Existing Opening
302B	Bedroom 302	A20	2'-4" x 4'-8" VIF				Existing Opening
302C	Bedroom 302	A19	3'-6" x 4'-8" VIF				Existing Opening
302D	Bedroom 302	A20	2'-4" x 4'-8" VIF				Existing Opening
304	Bathroom 304	C	2'-11" x 5'-5" VIF				Existing Opening
305A	Bedroom 305	A20	2'-4" x 4'-8" VIF				Existing Opening
305B	Bedroom 305	A19	3'-6" x 4'-8" VIF				Existing Opening
305C	Bedroom 305	A20	2'-4" x 4'-8" VIF				Existing Opening
305D	Bedroom 305	C	2'-11" x 5'-5" VIF				Existing Opening
306	Bathroom 306	A18	2'-11" x 5'-2-1/2" VIF				Existing Opening
307	Powder Room 307	A18	2'-11" x 5'-2-1/2" VIF				Existing Opening
308	Bedroom 308	C	2'-11" x 5'-5" VIF				Existing Opening
312	Hall 312	C	2'-11" x 5'-5" VIF				Existing Opening
314	Bedroom 314	C	2'-11" x 5'-5" VIF				Existing Opening
315	Bedroom 315	C	2'-11" x 5'-5" VIF				Existing Opening

WINDOW SCHEDULE 2ND FLOOR

NO.	LOCATION	TYPE	SASH DIMENSIONS WIDTH x HEIGHT	JAMB	HEAD	SILL	REMARKS
203	Bath 203	A12	4'-0" x 5'-3-1/2" VIF				Existing Opening
205A	Bedroom 205	B2	2'-11" x 5'-3-1/2" VIF				Existing; Curved Sash
205B	Bedroom 205	B1	3'-1" x 5'-3-1/2" VIF				Existing; Curved Sash
205C	Bedroom 205	B2	2'-11" x 5'-3-1/2" VIF				Existing; Curved Sash
206A	Dressing 206	A17	1'-7" x 5'-3-1/2"				
206B	Dressing 206	A12	4'-0" x 5'-3-1/2"				
207A	Master Bath 207	A12	4'-0" x 5'-3-1/2"				
207B	Master Bath 207	A17	1'-7" x 5'-3-1/2"				
208A	Master Bedroom 208	A11	4'-6" x 5'-3-1/2" VIF				
208B	Master Bedroom 208	A11	4'-6" x 5'-3-1/2" VIF				
208C	Master Bedroom 208	A13	3'-7" x 5'-3-1/2" VIF				
208D	Master Bedroom 208	A15	2'-4" x 5'-3-1/2" VIF				Existing Opening
208E	Master Bedroom 208	A11	4'-6" x 5'-3-1/2" VIF				Existing Opening
209A	Bathroom 209	A13	3'-7" x 5'-3-1/2" VIF				Existing Opening
209B	Bathroom 209	A13	3'-7" x 5'-3-1/2" VIF				
211A	Bedroom 211	A14	2'-7" x 5'-3-1/2" VIF				
211B	Bedroom 211	A10	5'-1" x 5'-3-1/2" VIF				Existing Opening
216A	Bedroom 216	A13	3'-7" x 5'-3-1/2"				
216B	Bedroom 216	A13	3'-7" x 5'-3-1/2"				
216C	Bedroom 216	A13	3'-7" x 5'-3-1/2"				
218	Bathroom 218	A16	2'-1" x 5'-3-1/2"				
219A	Bedroom 219	A13	3'-7" x 5'-3-1/2"				
219B	Bedroom 219	A13	3'-7" x 5'-3-1/2"				
222A	Bathroom 222	A16	2'-1" x 5'-3-1/2"				
222B	Bathroom 222	A16	2'-1" x 5'-3-1/2" VIF				Existing Opening
223A	Garage 223	E	1'-6" x 3'-5-1/2"				
223B	Garage 223	D	3'-1" x 6'-1"				
223C	Garage 223	E	1'-6" x 3'-5-1/2"				
223D	Garage 223	E	1'-6" x 3'-5-1/2"				
223E	Garage 223	D	3'-1" x 6'-1"				
223F	Garage 223	E	1'-6" x 3'-5-1/2"				

WINDOW SCHEDULE 1ST FLOOR

NO.	LOCATION	TYPE	SASH DIMENSIONS WIDTH x HEIGHT	JAMB	HEAD	SILL	REMARKS
101A	Den 101	A1	5'-1" x 5'-11" VIF				Existing Opening
101B	Den 101	A1	5'-1" x 5'-11" VIF				Existing Opening
102A	Reception 102	A1	5'-1" x 5'-11" VIF				Existing Opening
102B	Reception 102	A2	2'-11" x 5'-11" VIF				Existing Opening
103A	Entry 103	A6	2'-9" x 5'-2" VIF				Existing Opening
103B	Entry 103	A6	2'-9" x 5'-2" VIF				Existing Opening
103C	Entry 103	A7	2'-5" x 5'-2" VIF				Existing Opening
103D	Entry 103	A7	2'-5" x 5'-2" VIF				Existing Opening
103E	Entry 103	A7	2'-5" x 5'-2" VIF				Existing Opening
104	Living Room 104	A1	5'-1" x 5'-11"				
105	Dining Room 105	A1	5'-1" x 5'-11"				
106A	Solarium 106	A5	1'-8" x 5'-11"				
106B	Solarium 106	A5	1'-8" x 5'-11"				
106C	Solarium 106	A3	2'-9" x 5'-11"				
106D	Solarium 106	A3	2'-9" x 5'-11"				
106E	Solarium 106	A3	2'-9" x 5'-11"				
106F	Solarium 106	A3	2'-9" x 5'-11"				
106G	Solarium 106	A3	2'-9" x 5'-11"				
106H	Solarium 106	A3	2'-9" x 5'-11"				
106J	Solarium 106	A3	2'-9" x 5'-11"				
107A	Kitchen 107	A4	2'-4" x 5'-11"				
107B	Kitchen 107	A1	5'-1" x 5'-11"				
107C	Kitchen 107	A4	2'-4" x 5'-11"				
111	Powder Room 111	A8	2'-5" x 3'-5" VIF				Existing Opening
112	Stair Hall 112	F	Existing to Remain				Stained Glass
113A	Garage 113	A6	3'-0" x 4'-3"				
113B	Garage 113	A6	3'-0" x 4'-3"				

WINDOW SCHEDULE CELLAR

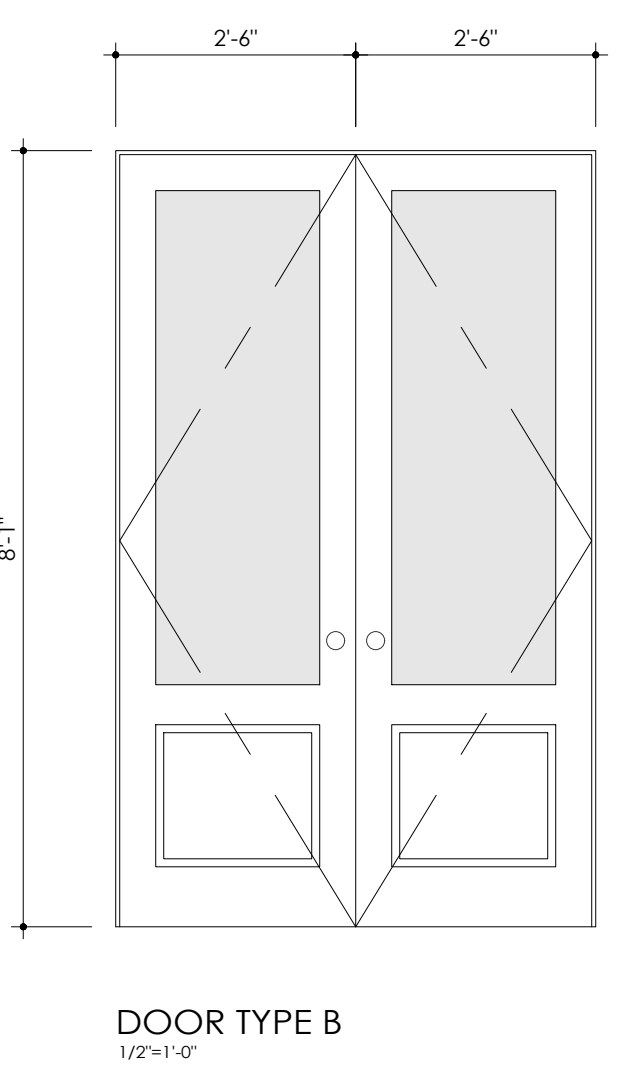
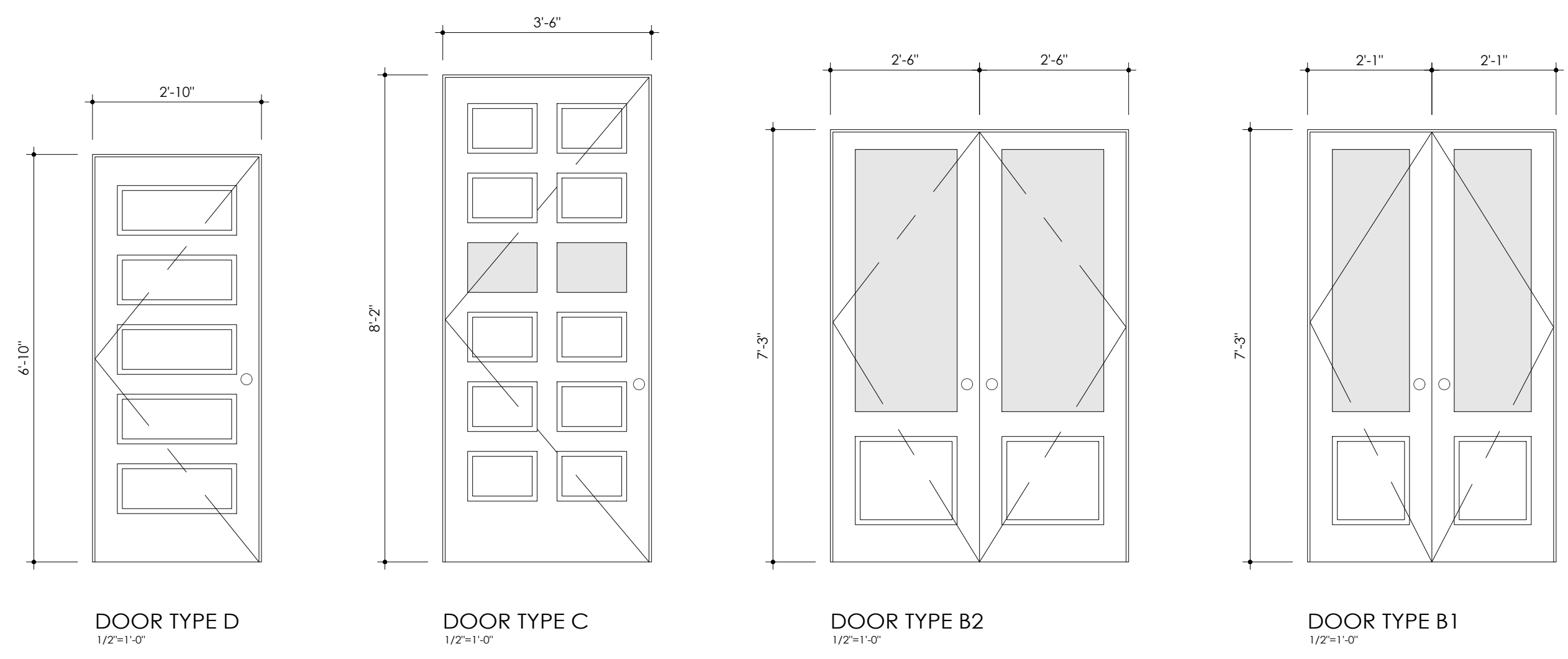
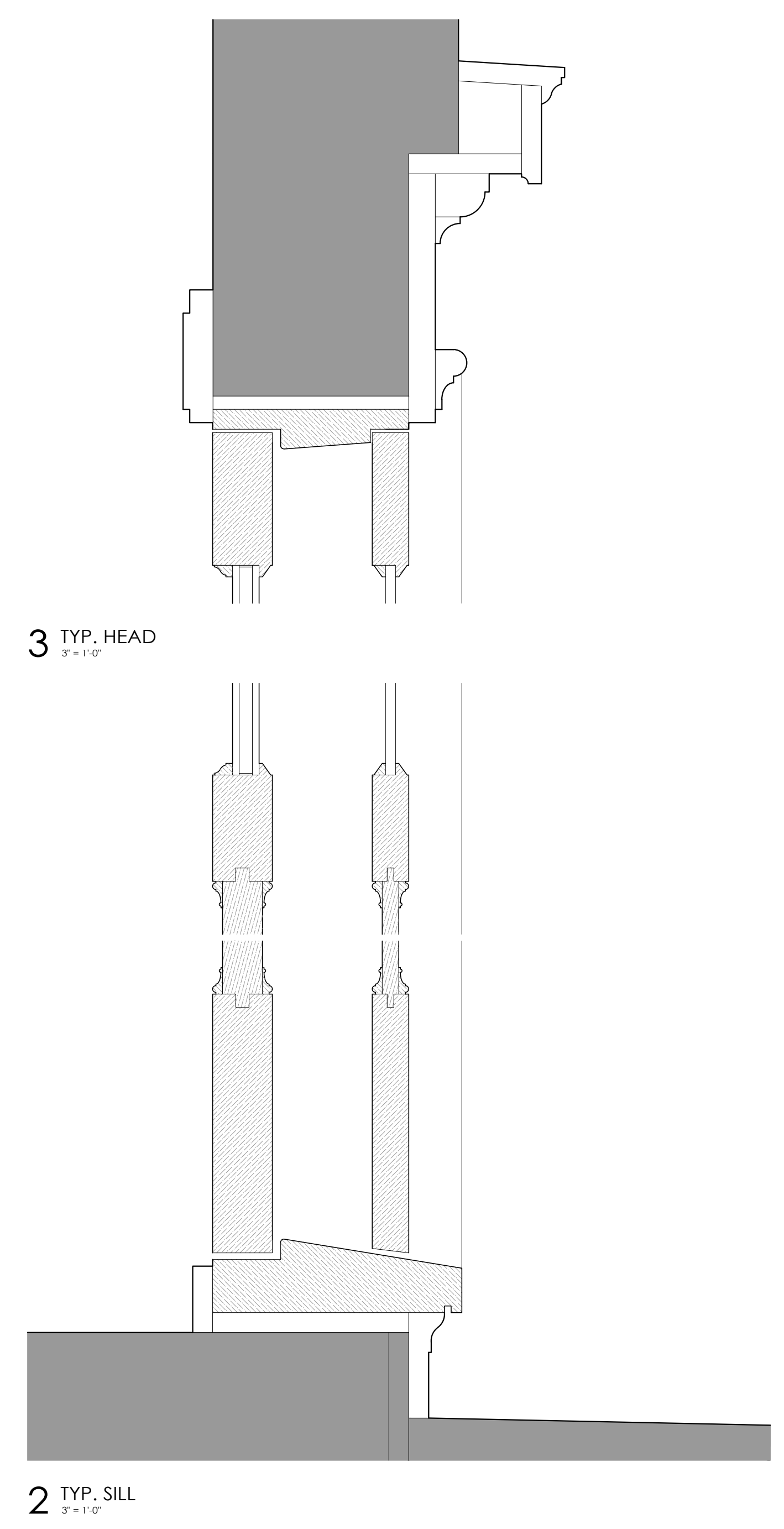
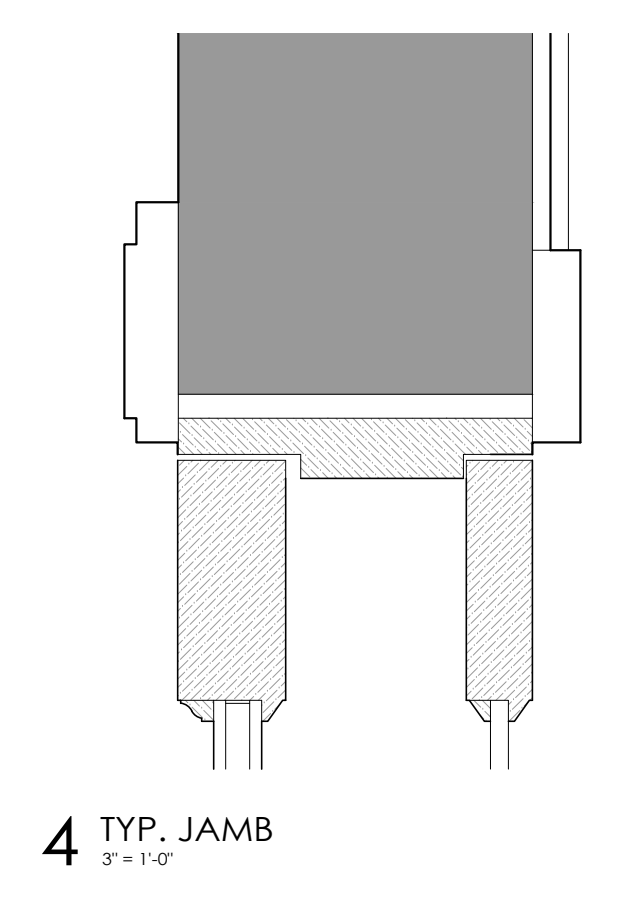
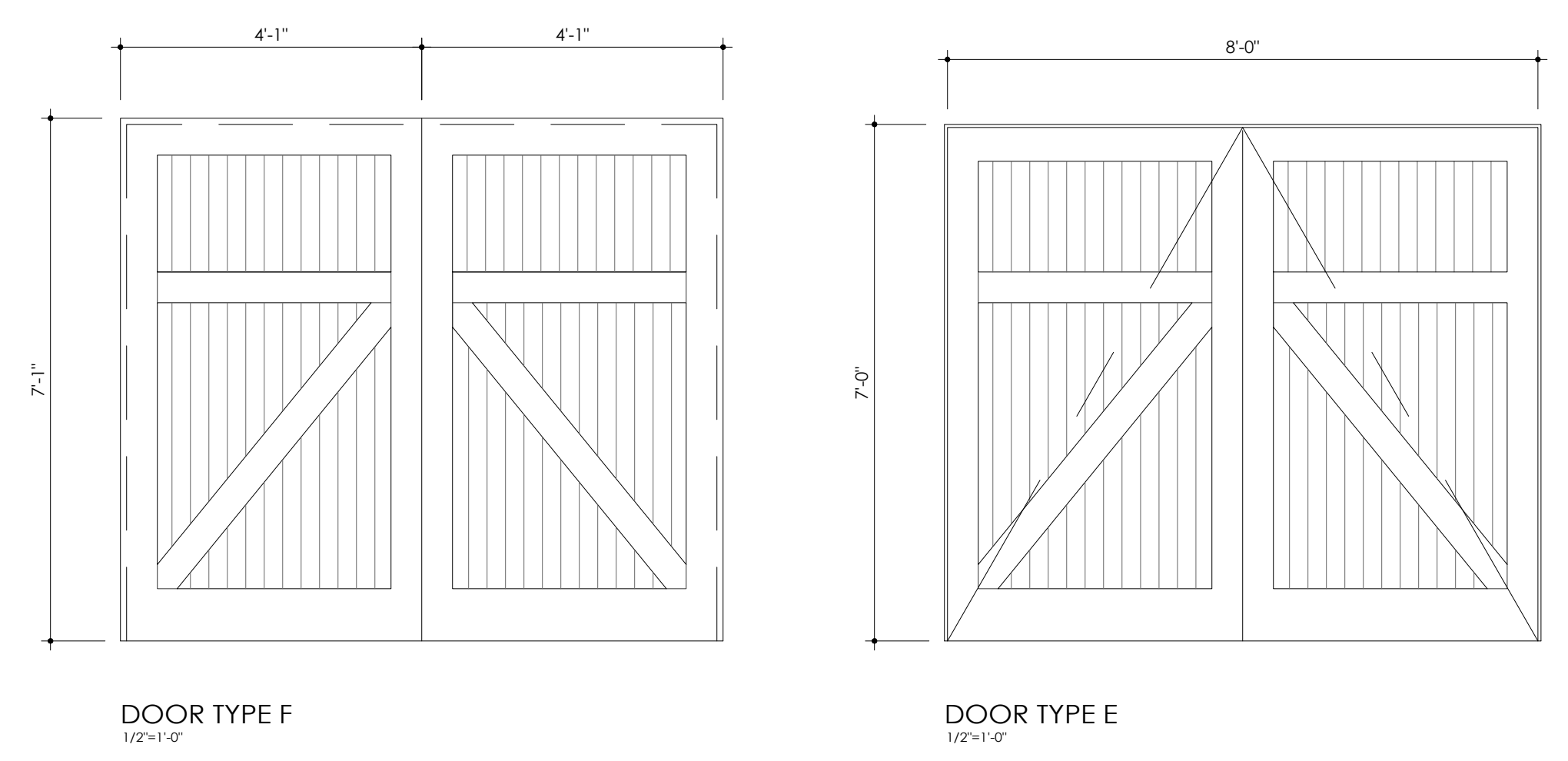
NO.	LOCATION	TYPE	SASH DIMENSIONS WIDTH x HEIGHT	JAMB	HEAD	SILL	REMARKS
006	Storage 006	A23	3'-5" x 3'-5" VIF				Existing Opening
008A	Storage 008	A23	3'-5" x 3'-5" VIF				Existing Opening
008B	Storage 008	A25	2'-0" x 3'-5" VIF				Existing Opening
008C	Storage 008	A24	2'-6" x 3'-5" VIF				Existing Opening
008D	Storage 008	A24	2'-6" x 3'-5" VIF				Existing Opening
008E	Storage 008	A24	2'-6" x 3'-5" VIF				Existing Opening
008F	Storage 008	A24	2'-6" x 3'-5" VIF				Existing Opening
008G	Storage 008	A24	2'-6" x 3'-5" VIF				Existing Opening
008H	Storage 008	A24	2'-6" x 3'-5" VIF				Existing Opening
009	Mechanical 009	A24	2'-6" x 3'-5" VIF				Existing Opening

212 929 9787 DAQUINOMONACO.COM
 DAQUINO MONACO INC. 9 EAST 19TH STREET 9TH FLOOR NEW YORK, NEW YORK 10003
 06.18.2020 ISSUED FOR FILING
 02.07.2020 ISSUED FOR FILING
 Date | Description
 GENERAL NOTES
 1. All dimensions to be verified in field.
 2. All wood windows to be manufactured by Artistic Doors & Window Products, Avenel, NJ.
 3. All wood windows to be fabricated to match existing profiles.
 4. All wood windows shall be of African Mahogany.
 5. All units shall be primed with two coats of oil based primer (all sides), and two coats of oil base finish paint on the exterior unless otherwise noted.
 6. Sash will be assembled using waterproof glue and mortise and tenon joinery. All frames are assembled with rabbet and dado joints that are glued, caulked and fastened with stainless steel fasteners
 7. Units will be factory glazed using insulated glass with aluminum spacer and high performance Low E.
 8. All operable windows to be provided with retractable insect screens.
 9. Existing stained glass windows to be repaired and restored as necessary.

Project Architect
MONACO ARCHITECT, P.C.
 9 EAST 19TH STREET 9TH FLOOR NEW YORK, NY 10003 212.929.9787
 DAQUINOMONACO.COM
 Project
THE BELDEN ESTATE
 45 NORWOOD AVE
 ALLENHURST, NJ
 Drawing | WINDOW SCHEDULE WINDOW TYPES
 Date | FEBRUARY 7, 2020
 Scale | AS NOTED
 Drawing # | A 601

Date	Description
06.16.2020	ISSUED FOR FILING
02.07.2020	ISSUED FOR FILING

- GENERAL NOTES**
- All dimensions to be verified in field.
 - All wood exterior doors to be manufactured by Artistic Doors & Window Products, Avenel, NJ.
 - All wood exterior doors to be fabricated to match existing profiles.
 - All wood exterior doors shall be of African Mahogany.
 - All units shall be primed with two coats of oil based primer (all sides), and two coats of oil base finish paint on the exterior unless otherwise noted.
 - Sash will be assembled using waterproof glue and mortise and tenon joinery. All frames are assembled with rabbet and dado joints that are glued, caulked and fastened with stainless steel fasteners.
 - Units will be factory glazed using insulated glass with aluminum spacer and high performance Low E.



EXTERIOR DOOR SCHEDULE - SECOND FLOOR
GC TO COORDINATE ALL DOOR LEAF SIZES WITH DETAILS

NO.	LOCATION	TYPE	DOOR LEAF SIZE W x H x TH	MAT/FINISH	DETAILS	JAMB	SADDLE	HARDWARE SET NO.	REMARKS
202A	HALL 202	A2	2'-10" x 7'-6" x 1-3/4"	Wood & Glass, Painted	HEAD	JAMB	SADDLE	SET NO.	
205	BEDROOM 205	B1	(2) 2'-6" x 7'-3" x 1-3/4"	Wood & Glass, Painted					
208A	MASTER BEDROOM 208	B1	(2) 2'-1" x 7'-3" x 1-3/4"	Wood & Glass, Painted					
208B	MASTER BEDROOM 208	A4	2'-2" x 7'-3" x 1-3/4"	Wood & Glass, Painted					
211A	BEDROOM 211	A3	2'-7" x 7'-3" x 1-3/4"	Wood & Glass, Painted					
220A	BEDROOM 220	A2	2'-7" x 7'-3" x 1-3/4"	Wood & Glass, Painted					

EXTERIOR DOOR SCHEDULE - FIRST FLOOR
GC TO COORDINATE ALL DOOR LEAF SIZES WITH DETAILS

NO.	LOCATION	TYPE	DOOR LEAF SIZE W x H x TH	MAT/FINISH	DETAILS	JAMB	SADDLE	HARDWARE SET NO.	REMARKS
101	DEN 101	B	(2) 2'-6" x 8'-1" x 1-3/4"	Wood & Glass, Painted	HEAD	JAMB	SADDLE	SET NO.	Match Width of Ex'g Window Opening Existing To Remain
103	ENTRY 103	C	3'-6" x 8'-2" x 2-1/4"	Wood, Painted					
104A	LIVING ROOM 104	A1	2'-7" x 8'-1" x 1-3/4"	Wood & Glass, Painted					
104B	LIVING ROOM 104	A1	2'-7" x 8'-1" x 1-3/4"	Wood & Glass, Painted					
106	SOLARIUM 106	B	(2) 2'-6" x 8'-1" x 1-3/4"	Wood & Glass, Painted					
107A	STAIR 107A	A	2'-10" x 8'-1" x 1-3/4"	Wood & Glass, Painted					
108	HALL 108	A	2'-10" x 8'-1" x 1-3/4"	Wood & Glass, Painted					
113A	GARAGE 113	F	(2) 4'-1" x 7'-1" x 1-3/4"	Wood, Painted					
113B	GARAGE 113	E	8'-0" x 7'-0" x 1-3/4"	Wood, Painted					
113C	GARAGE 113	E	8'-0" x 7'-0" x 1-3/4"	Wood, Painted					
113D	GARAGE 113	D	2'-10" x 6'-10" x 1-3/4"	Wood, Painted					

1 DOOR SCHEDULE

