

**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**CONSTRUCTION NOTES**

- ALL WORK AND MATERIALS SHALL BE PROVIDED AS SHOWN AND HEREIN SPECIFIED SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST APPLICABLE PROVISIONS OF UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY, LOCAL ZONING ORDINANCE AND LATEST RULES & REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER WORK OF THIS TYPE.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE PRIOR TO BID MAKING HIMSELF THOROUGHLY FAMILIAR WITH THE CONDITIONS OF THE PROJECT AREA. ANY DIFFICULTIES WITH ACCESS, WALL ALIGNMENT OR OTHER EXISTING CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT FOR APPROVAL OF ALTERNATE MEANS.
- THE CONTRACTOR SHALL LAY OUT THE ENTIRE JOB, CHECK ALL MEASUREMENTS, CONTROLLING THE WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER. THE ARCHITECT AND OWNER SHALL MAKE AN INSPECTION UPON COMPLETION OF THE LAYOUT.
- DRAWINGS SHALL NOT BE SCALED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING FIELD CONDITIONS AND HE SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- ALL CONTRACTOR'S WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, PROVIDING WORKMEN AND MATERIALS, MATCHING AND ALIGNING ALL SURFACES WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE AT THE COMPLETION OF THE ENTIRE PROJECT. THE CONTRACTOR SHALL PROPERLY PROTECT ALL ADJACENT SURFACES DURING THE COURSE OF HIS INSTALLATION. ALL NEW WORK AS INDICATED, SPECIFIED OR IMPLIED AS REQUIRED TO PRODUCE A FINISHED PRODUCT IN PROPER WORKING LEGAL ORDER CONFORMING TO THE BEST STANDARDS OF WORKMANSHIP.
- THE CONTRACTOR SHALL EXAMINE ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AND CONFER WITH THE OWNER AND ARCHITECT TO DETERMINE WHAT ADDITIONS AND MODIFICATION ARE NECESSARY.
- THE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DESIGNED BY A LICENSED NJ REGISTERED ENGINEER/CONTRACTOR PER ALL APPLICABLE CODES AND FILLED SEPARATELY BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE OWNER BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL SCHEDULING AND THE WORK OF ALL SUB-CONTRACTORS TO ALLOW FOR THE "FULL COOPERATION OF THE TRADES."
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AS REQUIRED AND PAY FOR SAME.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR OWNER IN WRITING OF ANY FIELD CHANGES MADE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED INSPECTIONS WITH THE APPROPRIATE CODE OFFICIALS, DEPARTMENTS, ETC. AND BE RESPONSIBLE FOR OBTAINING THE CERTIFICATE OF OCCUPANCY.
- ALL SUBSTITUTIONS OF SPECIFIED MATERIALS AND EQUIPMENT SHALL BE APPROVED BY THE ARCHITECT OR OWNER.
- ALL MATERIALS SHALL BE APPLIED OR USED ACCORDING TO THE MANUFACTURER'S PRESCRIBED INSTRUCTIONS AND RECOMMENDATIONS.
- ANY FINISH FLOOR ELEVATIONS INDICATED ON THE FLOOR PLAN ARE FOR REFERENCE ONLY. ACTUAL SITE ELEVATIONS MAY DIFFER. SEE SITE/PLOT PLAN FOR ANY ADDITIONAL INFORMATION IF PROVIDED.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROTECTION OF THE EXISTING BUILDING AND ITS CONTENTS FROM DAMAGE AND THEFT.
- THE CONTRACTOR SHALL PERIODICALLY REMOVE FROM THE BUILDING AND THE SURROUNDING CONSTRUCTION SITE AND DISPOSE OF BY LEGAL MEANS, ALL RUBBISH AND DEBRIS. AT THE COMPLETION OF THE WORK, HE SHALL LEAVE THE PREMISES "BROOM CLEAN" WITH ALL WOOD, DRYWALL AND FINISH WORK FREE FROM DISCOLORATION AND STAIN.
- THE CONTRACTOR SHALL PATCH/REPAIR TO ITS ORIGINAL STATE, ALL EXISTING CONDITIONS AFFECTED BY THE NEW CONSTRUCTION.
- EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL CAVITIES AND WINDOW OR DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OR UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOFS AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE CAULKED, GASKETS OR OTHERWISE FLASHED AND SEALED IN AN APPROVED MANNER AS REQUIRED TO PROVIDE WATER TIGHT CONDITION.
- ALL OPENINGS IN WALLS, FLOORS, ROOF, ETC. TO BE LOCATED, SIZED, FURNISH AND INSTALLED AS PER MECHANICAL AND ARCHITECTURAL REQUIREMENTS EVEN IF SHOWN AS SUCH ON STRUCTURAL AND ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR SHALL VERIFY SITE CONDITIONS AS REQUIRED TO DETERMINE NUMBER OF STEPS FOR ACCESS TO GRADE FROM BUILDING. MAX. RISER @ 7"
- ALL COLORS, PATTERNS, TEXTURES, ETC. OF ALL MATERIALS AND THEIR FINISHES ARE TO BE SELECTED BY THE OWNER.
- ALL MATERIAL SHALL MATCH EXISTING, UNLESS OTHERWISE NOTED.
- PROVIDE R-11 ACOUSTICAL INSULATION AT ALL NEW BATHROOM WALLS AND FLOORS.



**W. LERMAN ARCHITECTURE**

Architecture - Land Planning  
Space Planning - Interior Design

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LICENSE  
*Wayne Lerman*  
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WAYNE LERMAN, AIA

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NO	DATE	DESCRIPTION
-	01-02-20	ZONING BD. ISSUE

PROPOSED ALTERATION & ADDITIONS FOR:

**TAWIL RESIDENCE**

120 CORLIES AVE  
ALLENHURST, N.J.

**PROPOSED BASEMENT FLOOR PLAN**

WALL LEGEND	
SYMBOL	DESCRIPTION
	EXIST. WALL TO REMAIN
	NEW WALL
	EXISTING WALL TO BE REMOVED
	PATCH TO MATCH EXIST. CMU WALL

DATE	7/3/19	JOB NO	2019-24
SCALE	AS NOTED	DWG. NO	A-1
DWN. BY	MCP	CHECKED	WML
		5 OF 13	



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REVISIONS		
NO.	DATE	DESCRIPTION
01	02-20	ZONING BD. ISSUE

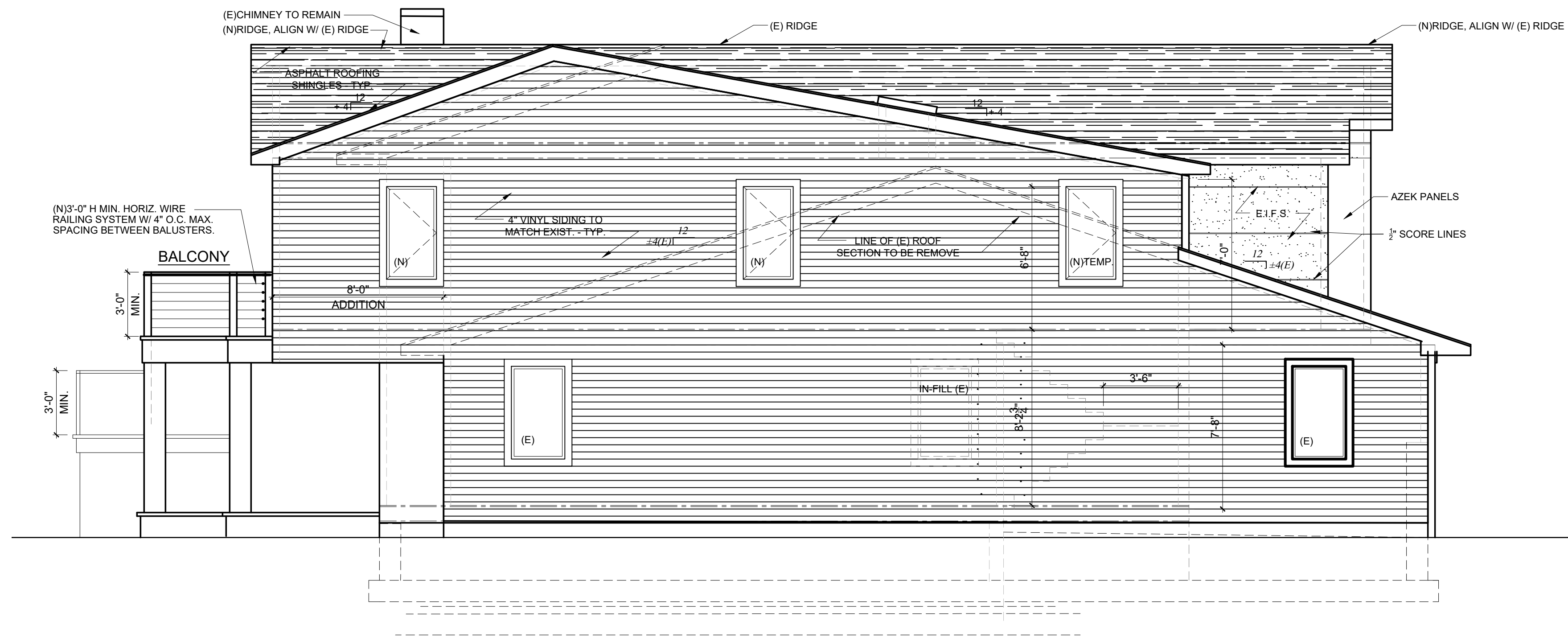
PROPOSED ALTERATION & ADDITIONS FOR:

TAWIL RESIDENCE

120 CORLIES AVE  
ALLENHURST, N.J.

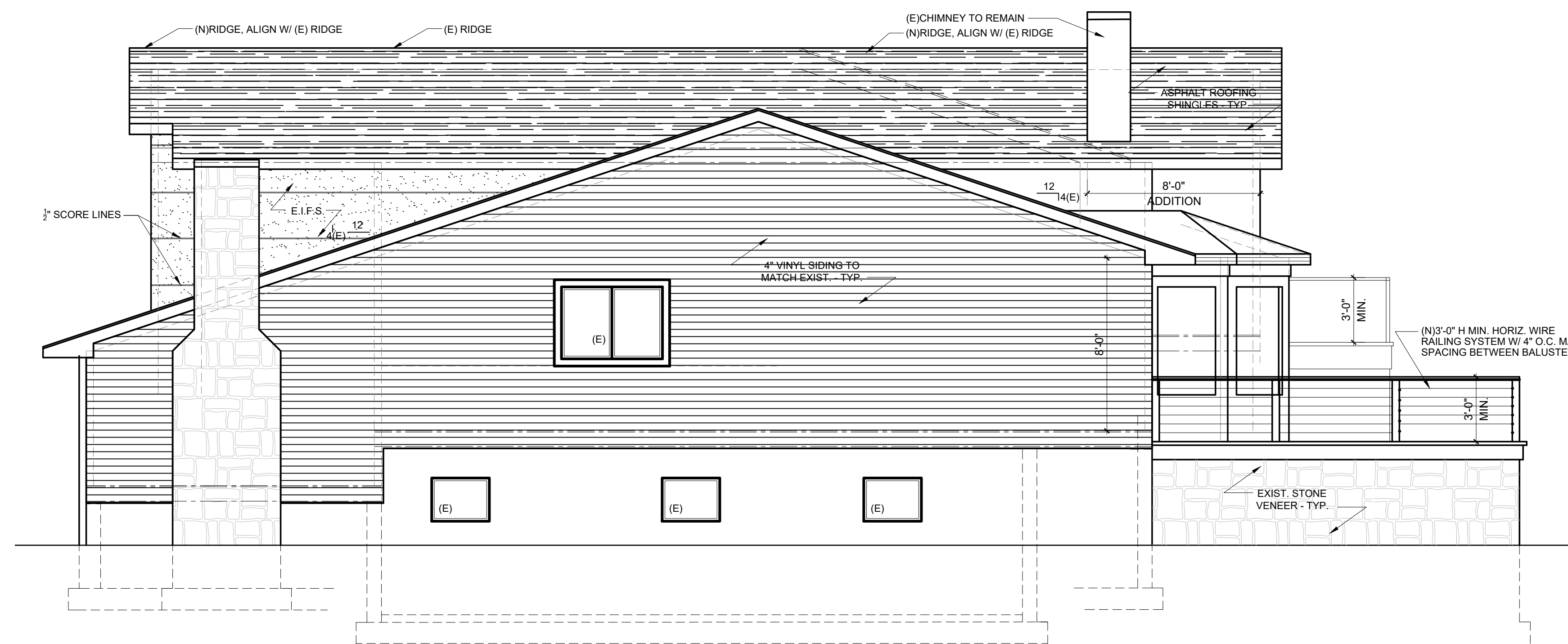
PROPOSED ELEVATIONS

DATE	7/3/19	JOB NO	2019-24
SCALE	AS NOTED	DWG. NO	A-7
DWN. BY	MCP	CHECKED	WML
			11 OF 13



LEFT SIDE ELEVATION – PROPOSED

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION – PROPOSED

SCALE: 1/4" = 1'-0"



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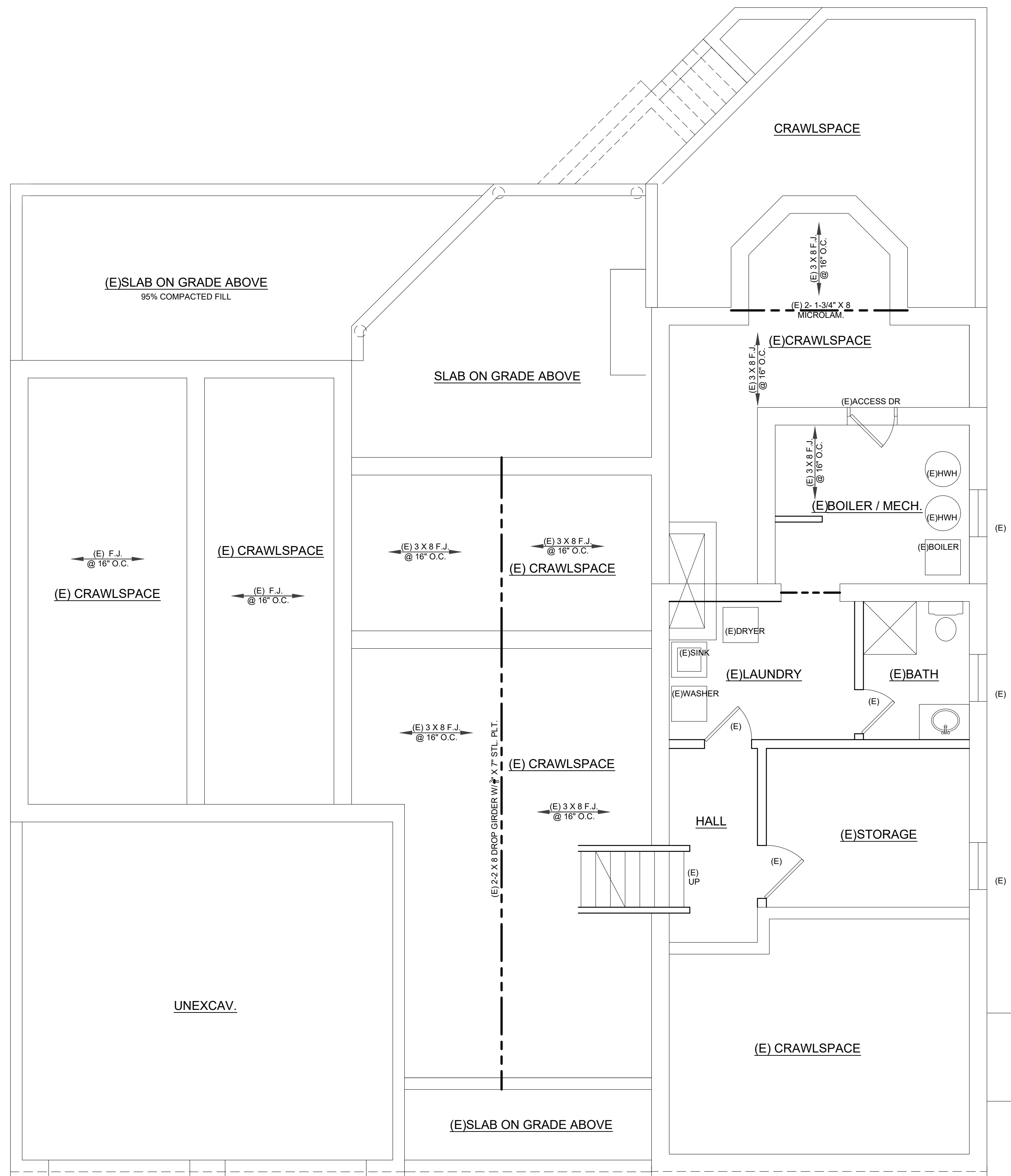
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**THE TAWIL RESIDENCE**

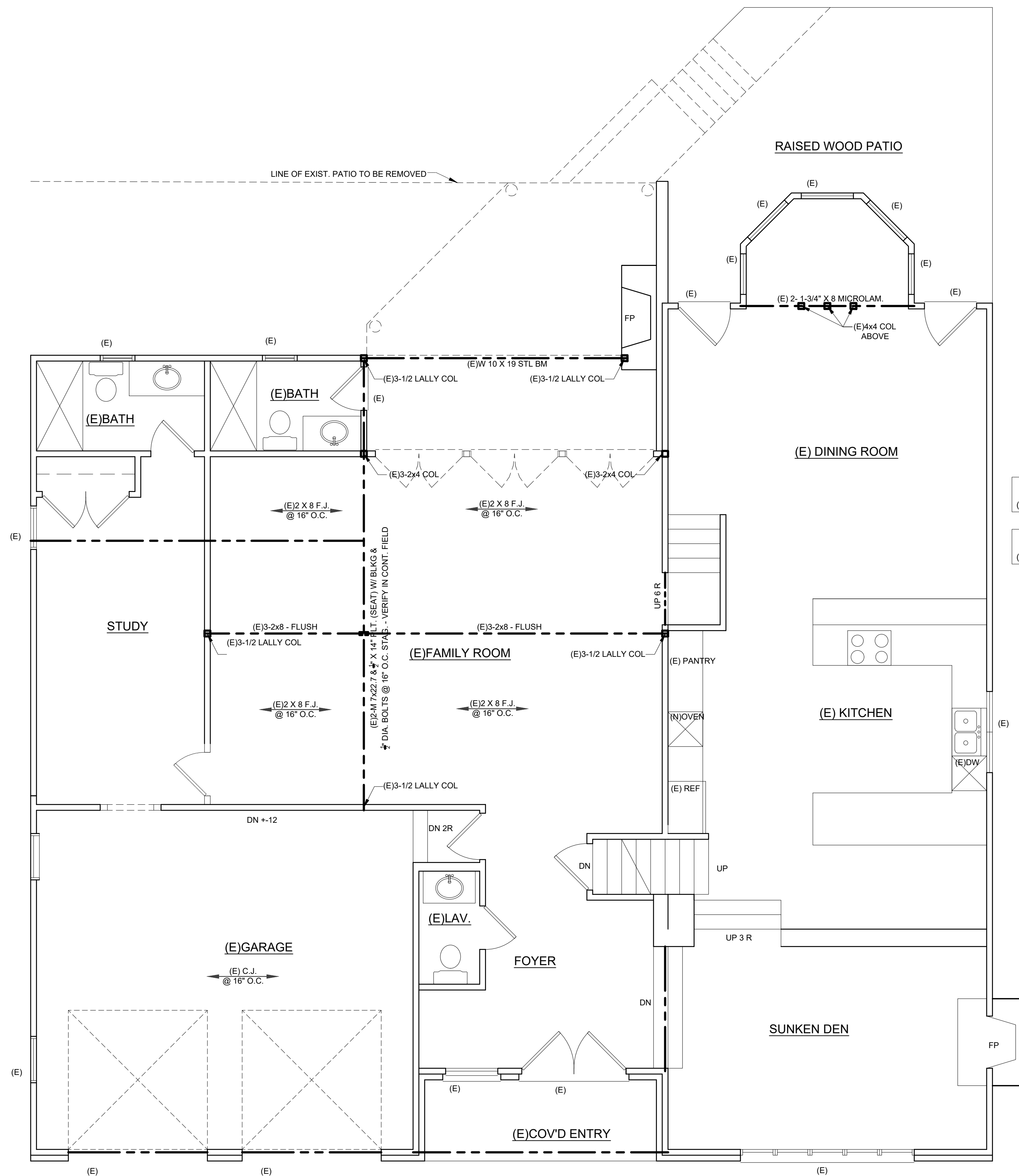
120 CORLIES AVE  
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**BASEMENT & FIRST FLOOR DEMOLITION PLANS**

DATE	06/07/20	JOB NO	2019-24
SCALE	AS NOTED	DWG. NO	
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CHECKED	WML		3 OF 13



**EXISTING BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"  
- DEMO



**EXISTING FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
- DEMO

**DEMOLITION NOTES:**

1. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR & MATERIALS AS REQUIRED TO COMPLETE THE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED ON THE DRAWINGS OR AS OTHERWISE INDICATED BY THE ARCHITECT.
2. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILD FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIME WORK AS REQUIRED.
3. ALL BUILDING ELEMENTS REMOVED DURING DEMOLITION SHALL BE REMOVED FROM SITE EXCEPT ITEMS TO BE REUSED. WORK AREA SHALL BE SWEEP, BROOM-CLEANED, DAILY.
4. ALL WORK SHALL BE CAREFULLY PERFORMED SO AS NOT TO CRACK LOOSEN, OR OTHERWISE DAMAGE ANY EXISTING WORK TO REMAIN.
5. ACCURATELY CUT EXISTING WORK AT POINTS OF REMOVAL WITH NEAT CLEAN EDGES TO MINIMIZE PATCHING. PATCH AND REPAIR FINISHES AT POINTS OF REMOVALS AS REQUIRED TO MATCH ADJACENT SURFACES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR:
  - A) KEEPING BUILDING SECURE FROM VANDALS. USE TEMPORARY WALLS, ETC. AS REQ'D.
  - B) KEEPING BUILDING WATERTIGHT AND WATERPROOF. USE TEMPORARY PARTITIONS, PLASTIC TARPS, ETC. AS REQUIRED.

**WALL LEGEND**

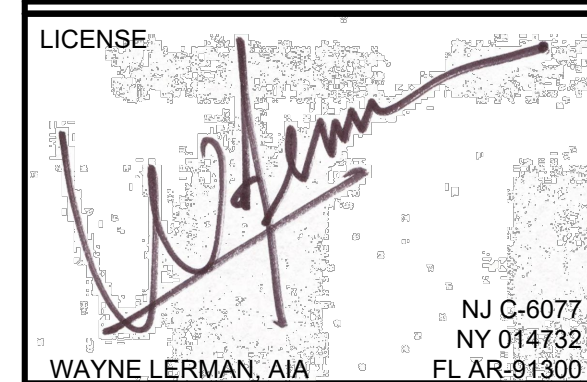
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	NEW WALL
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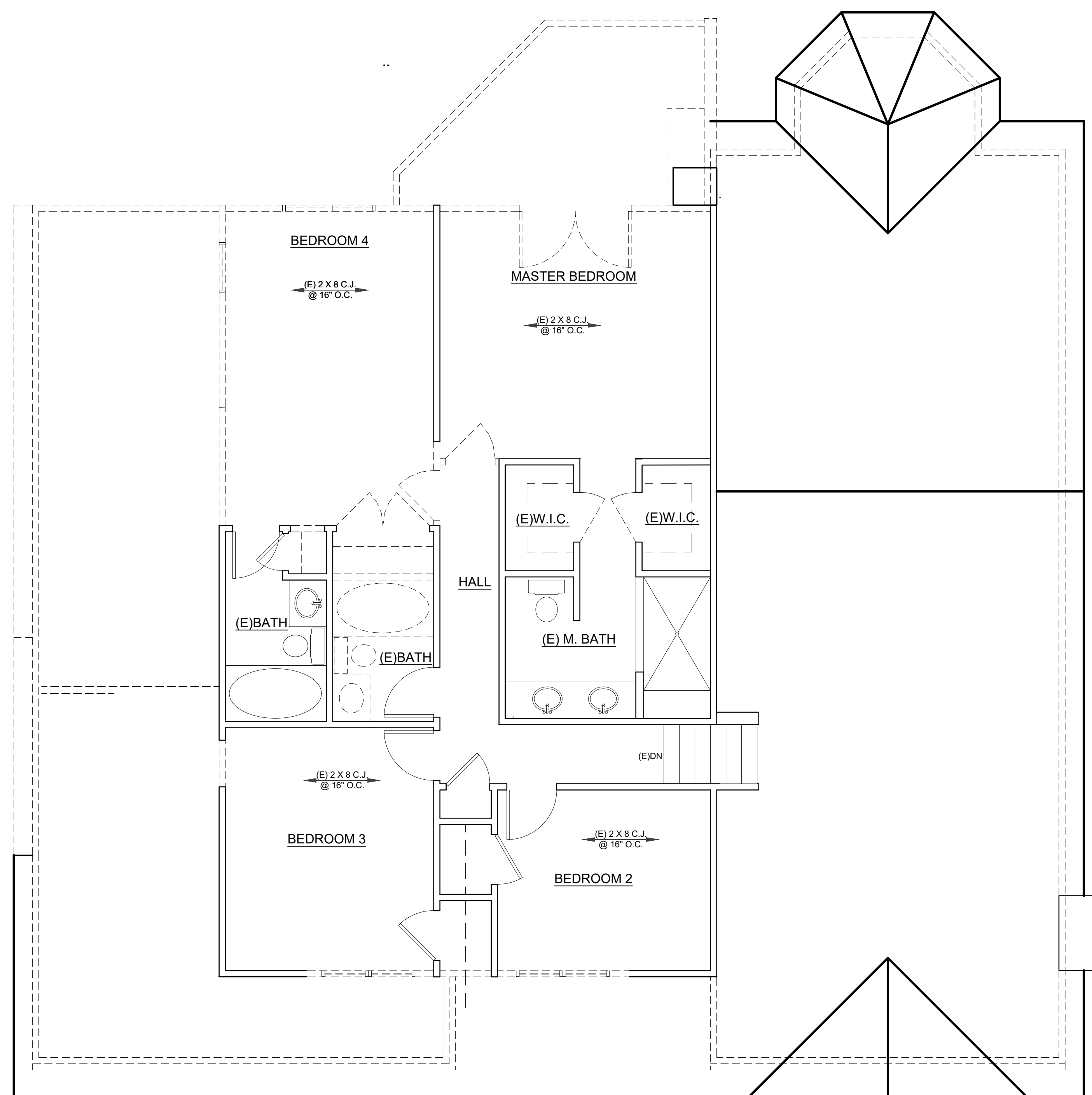
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**THE TAWIL RESIDENCE**

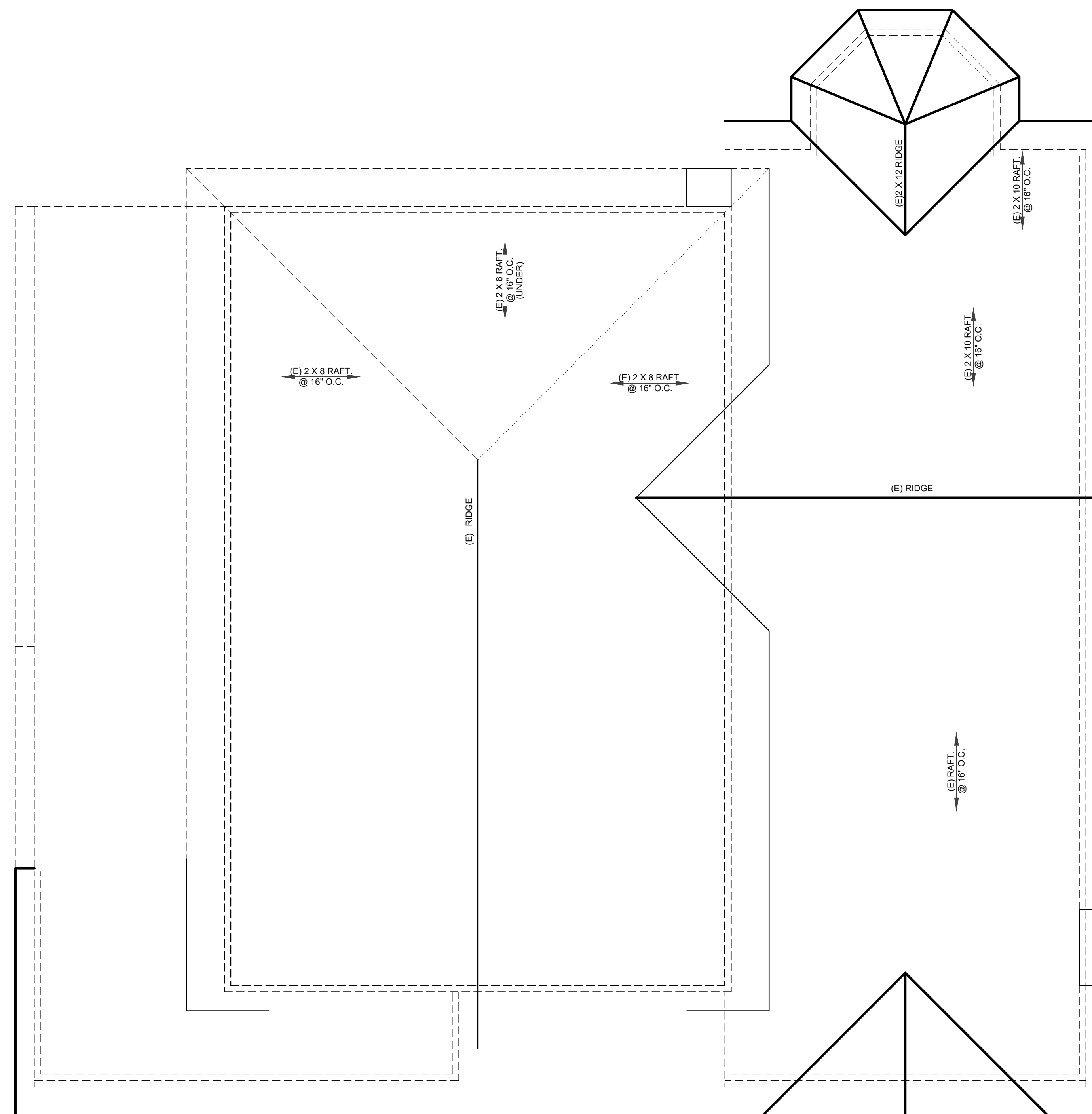
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**BASEMENT & FIRST FLOOR DEMOLITION PLANS**

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SCALE	AS NOTED	DWG. NO	D-2
DWN. BY	MCP	CHECKED	WML
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**EXISTING SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0" — DEMO



**EXISTING ATTIC/ROOF PLAN**  
SCALE: 1/4" = 1'-0" — DEMO

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SYMBOL	DESCRIPTION
	EXIST. WALL TO REMAIN
	NEW WALL
	EXISTING WALL TO BE REMOVED
	PATCH TO MATCH EXIST. CMU WALL